



# CORPORATE/DOMESTIC PAVILION DESIGN GUIDELINES



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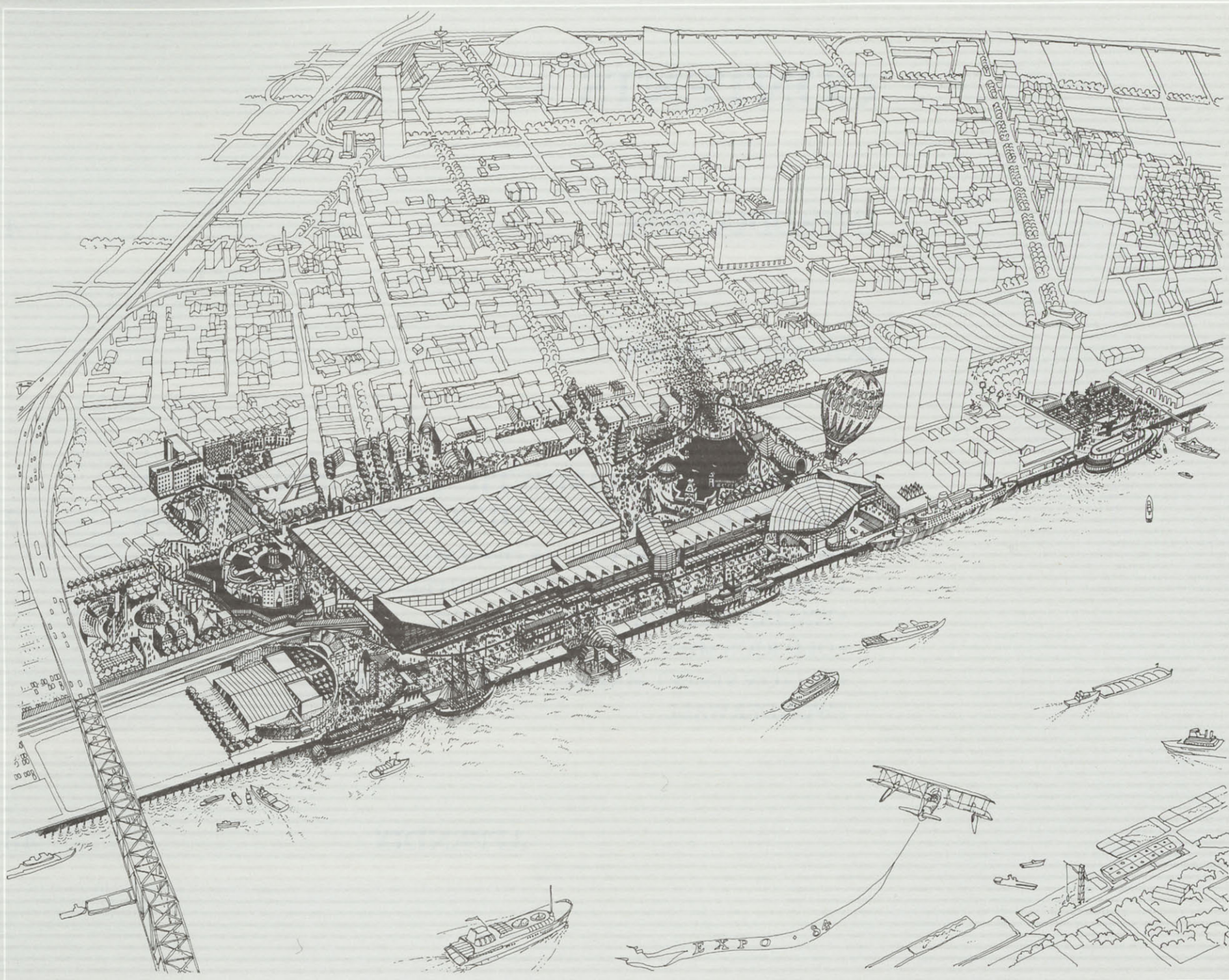
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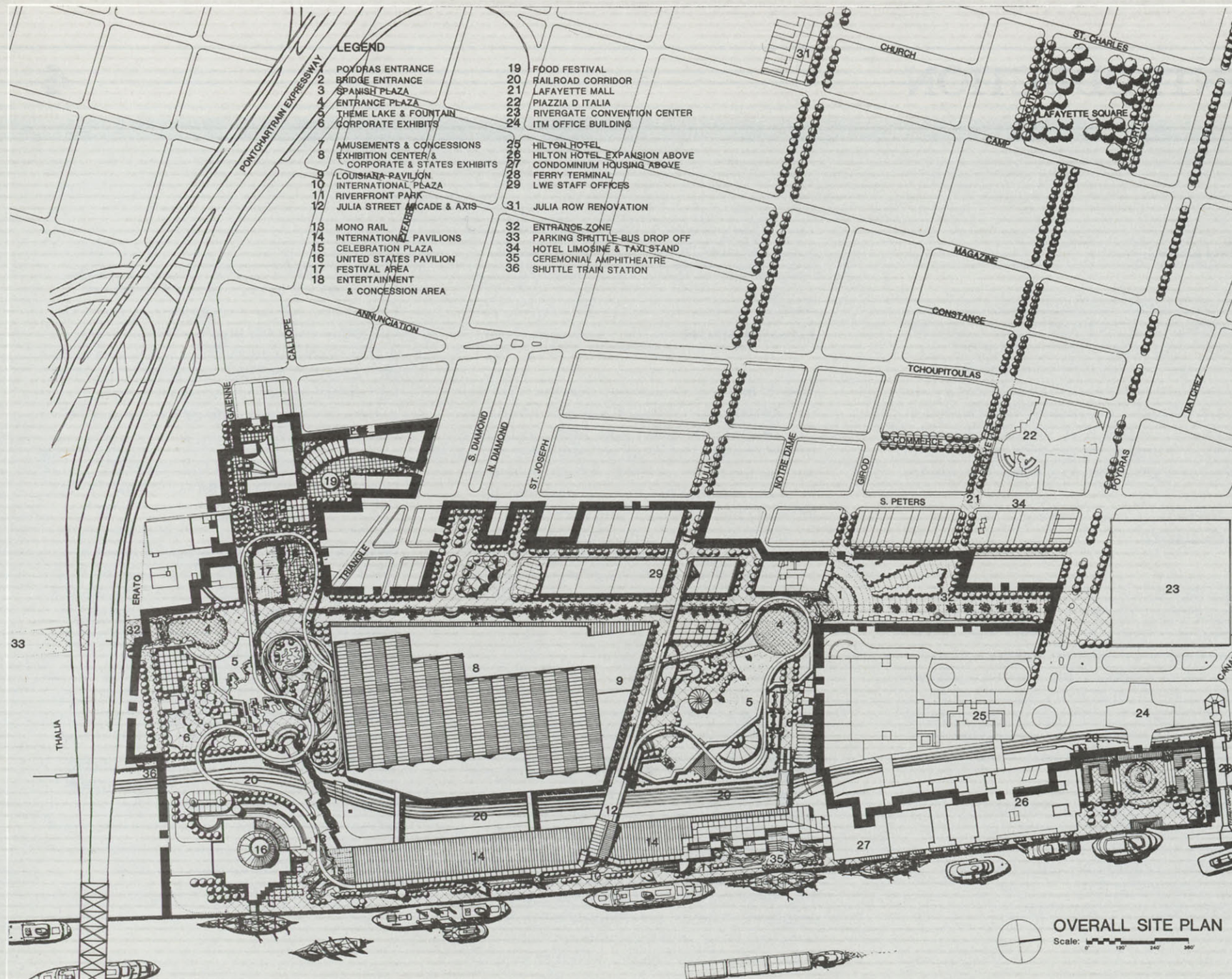
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## Purpose

This workbook has been designed to aid participants in the preparation of plans for and construction of their exhibit or concession at the 1984 Louisiana World Exposition. It is intended to serve as a guidebook through the design and construction approval process. More importantly it should help to stimulate imaginative and innovative designs appropriate to a World Exposition.

## Theme Relation

The theme of the 1984 Louisiana World Exposition, "The World of Rivers – Fresh Water as a Source of Life," provides many possibilities for exciting and educational exhibit experiences. It is expected and will be required that all exhibitors develop exhibitry which addresses in a meaningful way one of the issues determined by LWE to be relevant to the theme. These include the following categories:

- THE RIVER: MYTH & SYMBOL
- WATER & THE BIOSPHERE
- WATER & INDUSTRY
- WATER, TRANSPORTATION, & COMMUNICATION
- THE POLITICS OF WATER

Theme papers which describe the categories and sub-categories in detail are available from Louisiana World Exposition, Inc.

## Site Description

The 82 acre Exposition site is bordered on its eastern edge by the Mississippi River, on the south by the Mississippi River Bridge, on the west by an historical warehouse district, and on the north by the business district. It is within walking distance of New Orleans' famous French Quarter. The overall site landscaping will recognize and attempt to emulate the City's abundance of greenery and natural shade. Participants are encouraged to do the same with the areas in front of and surrounding their particular exhibits or concessions.

Permanent new buildings on the site include: the Exhibition Center with 350,000 square feet/32,515 square meters which houses domestic, corporate, and concession participants, the International Pavilion with 360,000 square feet/33,445 square meters of exhibit space on two levels, and the International River Center with 100,000 square feet/9,290 square meters of exhibit space and houses international and concession participants. In addition, 8 renovated existing buildings will house corporate exhibits, entertainment events, merchandising, and food and beverage concessions. Large lagoons which emphasize

the Exposition theme are situated at the north and south ends of the Exhibition Center and will be surrounded by themed corporate exhibits, music, entertainment and concession areas. Several modes of site circulation including a monorail, water rides, and chair lifts offer a variety of ways to experience the site. The entire site will be barrier free.

Exposition site lighting will be people oriented and, in its distribution characteristics, will indicate areas of excitement as well as areas of repose, while providing maximum physical and psychological comfort and security for fair visitors. The overall lighting will be carefully designed to strengthen and define the already powerful architectural forms comprising the Fair Site, while on a large scale allowing the entire site to be assimilated into the patterns of the city as a whole. For a successful site it is important that designers coordinate their lighting scheme with the overall site lighting design.

To facilitate coordination of color, pattern, and theme of site elements six "neighborhoods" have been established. These are shown on the master plan and will be helpful to designers of individual exhibits in understanding the character of their neighborhood – See enclosed information.



## **Building Description**

Each building provided by LWE for participant use is described in the Design Standards section of these Design Guidelines. Detailed information necessary for exhibit designers is listed in the Participant Check List.

## **Design Criteria**

In order to insure that each participant's area of involvement is developed in a manner which enhances the entire Exposition, LWE has established design criteria to aid individual designers in understanding the intent of the larger concept. Criteria governing the design of exterior building elements, forecourt areas, graphics, lighting, landscaping, queuing, and signage are intended to describe minimum requirements. It is hoped that participants will exceed these minimum requirements in developing creative design solutions.

## **Approval Process**

There are three kinds of approvals required of all Exposition participants who construct

or create any element of the site. These are: Design Review Committee (LWE), The City of New Orleans Department of Safety and Permits, and the Louisiana State Fire Marshall.

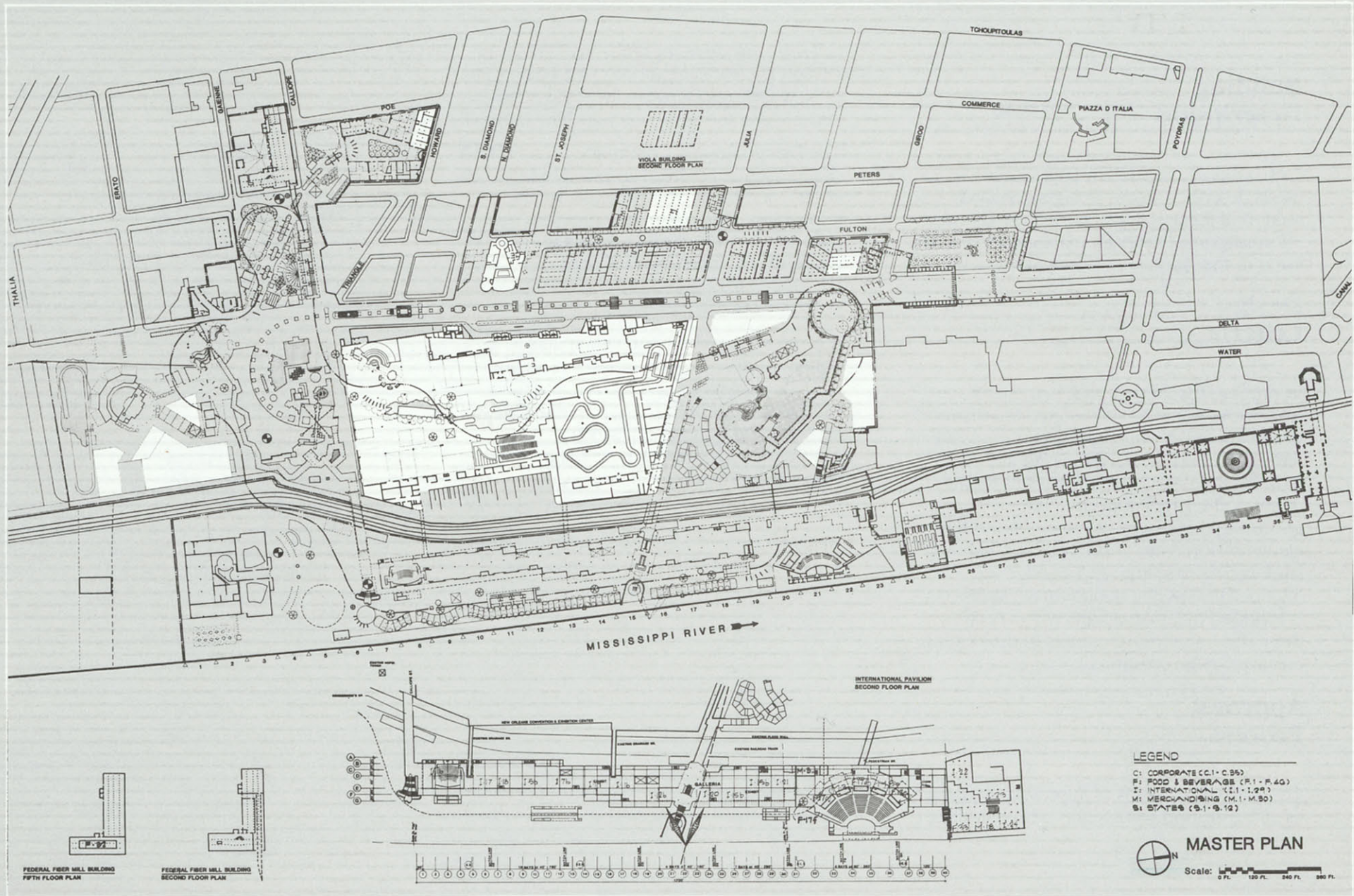
The Design Review Committee is composed of representatives from several departments of LWE and the Master Architect for the Exposition. This committee provides oversight for the design and construction of the entire site. Written approval from the committee is required prior to the implementation of the participant's work.

It is the responsibility of participants to obtain the services of a registered architect or civil engineer to prepare the necessary submissions for both Design Review approval and building permits. Submission requirements for both types of approvals are listed in the Appendix.



# LOCATION PLAN

6





## Introduction

Corporate and Domestic Participants at the 1984 Louisiana World Exposition will exhibit in a variety of unique physical settings. These include new structures in the New Orleans Convention Center as well as new structures on the open site, existing structures renovated by LWE, and locations within the Wonderwall.

Design standards have been established for each setting and are listed on the following pages. The intent of the design standards is to aid participants in understanding the existing conditions for which they are designing. In addition to creating a strong individual visual statement, the participant should relate their building and site design to the Exposition theme. Designs should express the cooperative attitude necessary for a successful World Exposition.

Participants are required to retain a professional exhibit designer in order that all exhibits may be of caliber appropriate to a World Exposition.

LWE has developed several pavilions as turnkey projects for which LWE will assume all responsibilities for design, construction, operation, maintenance, and dismantlement.



## Building Description

Because there are no predetermined forms for corporate pavilions, they may take a variety of forms and colors. While innovative structures are encouraged, they should be compatible with the concept developed for their particular area of the site. The various themed neighborhoods are shown on the site plan included in the folder pocket. For clarification, the participant should consult with LWE's Site Development Department.

Designs should respond to the local climatic and geological conditions in order to provide a pleasant and safe exhibit experience. Interiors should accommodate large numbers of visitors in a comfortable and entertaining manner. Consideration should be given to the fact that exhibitry needs to be designed in order to be seen at varying height levels by children, adults and guests in wheelchairs. Aisle widths should allow visitors to circulate at varying paces.

## Design Standards

Site Work: Design should be considerate of adjacent site conditions such as paving,

landscaping, and lighting. Participants are encouraged to familiarize themselves with their "neighborhood" and coordinate their design work with LWE Site Development Department.

Pavilions may cover no more than 80% of the leased area. A 5'-0" setback from all lease lines is required to accommodate storm drainage where necessary.

**Forecourt:** This area, which is required to be approximately 20% of the total leased area, creates a transition from public circulation areas to individual pavilions. It provides an opportunity for strong exhibitor identity, adequate queuing, and further development of the exhibit theme. It is strongly recommended that participants include in their forecourt areas elements which relate to the Exposition theme such as: water fountains, waterfalls, or water sculpture. Designs should respond to the following considerations:

- Provide for smooth circulation at entry and exit locations.
- Queuing lines are to be included in forecourt areas and should avoid conflict with site circulation.
- Queuing lines should be protected from rain and sun.
- Entertainment such as live performances, video displays, live music, or interesting graphic displays should be provided to enhance the exhibit experience.
- Adequate lighting should be provided to illuminate the forecourt area and building

facade. Lighting is required on flags and identity panels.

- Lighting should be dynamic and tastefully executed. The use of high intensity discharge fixtures is discouraged. Fluorescent lighting integral with display cases and equipment hoods is permitted (warm white colored bulbs are required). No other fluorescent fixtures are permitted. Minimize glare resulting from exposed light sources.
- Carefully control internal light emitted from within pavilion as well as exterior building lighting in order not to overpower or conflict with site lighting of the immediate area or neighborhood.
- Landscaping should be a priority in the development of exterior leased areas and forecourt.

**Signage:** Corporate/Domestic Participants are permitted one identity sign. This should be developed as an opportunity to create a strong visual image using the participant's logo and/or letter style and colors. The sign



may be free-standing or integral with the building design. While variety of shape and structure is encouraged, LWE has determined maximum height and width dimensions as shown in the drawings. All signs should be illuminated. Flashing or sequential lights are not permitted unless otherwise approved by the Design Review Committee. Location of identity sign is to be shown on the participant's site plan.

Participants are also responsible for all necessary directional signage. Temporary handwritten signs are not permitted.

**Colors:** Although it is not required, designers may wish to coordinate their pavilion colors with the palette of colors and patterns that identify their neighborhood of the site. (See folder pocket). Proposals for all colors used on exterior of pavilion as well as signage colors must be approved by Design Review Committee.

**Sound:** Participants are responsible for maintaining sound levels emanating from their exhibits which do not interfere with other activities on the site. LWE will determine during operation if corrective

measures are necessary and participants shall bear the expense of any required sound attenuation devices.

## Specifications: Architectural and Structural

### WORK BY LWE

Having signed a contract following concept approval by the Design Review Committee, participants will be provided with a lease outline drawing of their site including dimensions and angles of all sides in order to be able to proceed with design development. At the same time soil analysis and test pile information will also be made available.

At the proper time, specific sites will be staked out in order to allow participants to proceed with construction as approved.

### WORK BY PARTICIPANTS

Participants are responsible for all work of any nature that is to take place within their lease lines concerning the design and construction of their exhibit in accordance with Participation Portfolio and Design Guidelines Manual. It is important that design and construction schedules be coordinated with LWE.

## Plumbing

### WORK BY LWE:

A 12" minimum storm drainage line will be installed in plaza area. An 8" line will be stubbed to participant's lease line.

An 8" sanitary sewer line will be installed in plaza area. A 6" sanitary line will be stubbed to participant's lease line.

A 12" water line will be installed in plaza area. A 2" water line will be stubbed to participant's lease line.

A 12" high pressure gas line will be installed in plaza area. A 1" high pressure gas line will be stubbed to participant's lease line, if required by participant.

Participants are responsible for the cost of extending all utilities from a point 5' outside their lease line to the stub up location.

### WORK BY PARTICIPANTS

Furnish and install all plumbing fixtures and any and all equipment required for particular occupancy, including connections to sanitary soil, waste and participant furnished vents and to cold water stubs, as well as all piping,



valves, insulation, domestic hot water and all other plumbing work required for participant's space.

Extend gas line into participant's space. Furnish and install all gas fired equipment required for particular occupancy.

## Electrical

### WORK BY LWE

Participant exhibit areas are provided with 480Y/277 volt, 3 phase, 4 wire service at each distribution panel located at pad mounted transformer. Spaces are provided in the panelboard for the installation of fused switches or circuit breakers to serve spaces with a maximum connected load of 20 watts/square foot. Feeder for participant's spaces will be extended from pad mounted transformer to participant's leased space.

Participants are responsible for the cost of extending feeders from a point 5' outside their lease line to the stub up location.

### WORK BY PARTICIPANTS

Extend service feeders (480Y/277 volt, 3 phase, 4 wire) from lease line of participant's space to participant's electrical room.

Furnish and install telephone service raceway

to participant's space from lease line. Arrange with the telephone company for service cable installation and for all telephone equipment installation.

Furnish and install all electrical work within participant's space including: electrical room, meter, transformer, distribution panelboards and branch circuit panels, lighting fixtures, receptacles, miscellaneous power, telephone raceway and junction boxes, public address and music systems, security system, connections to participant's air handling units, and participant's HVAC system controls (if electric).

## HVAC

### WORK BY PARTICIPANTS

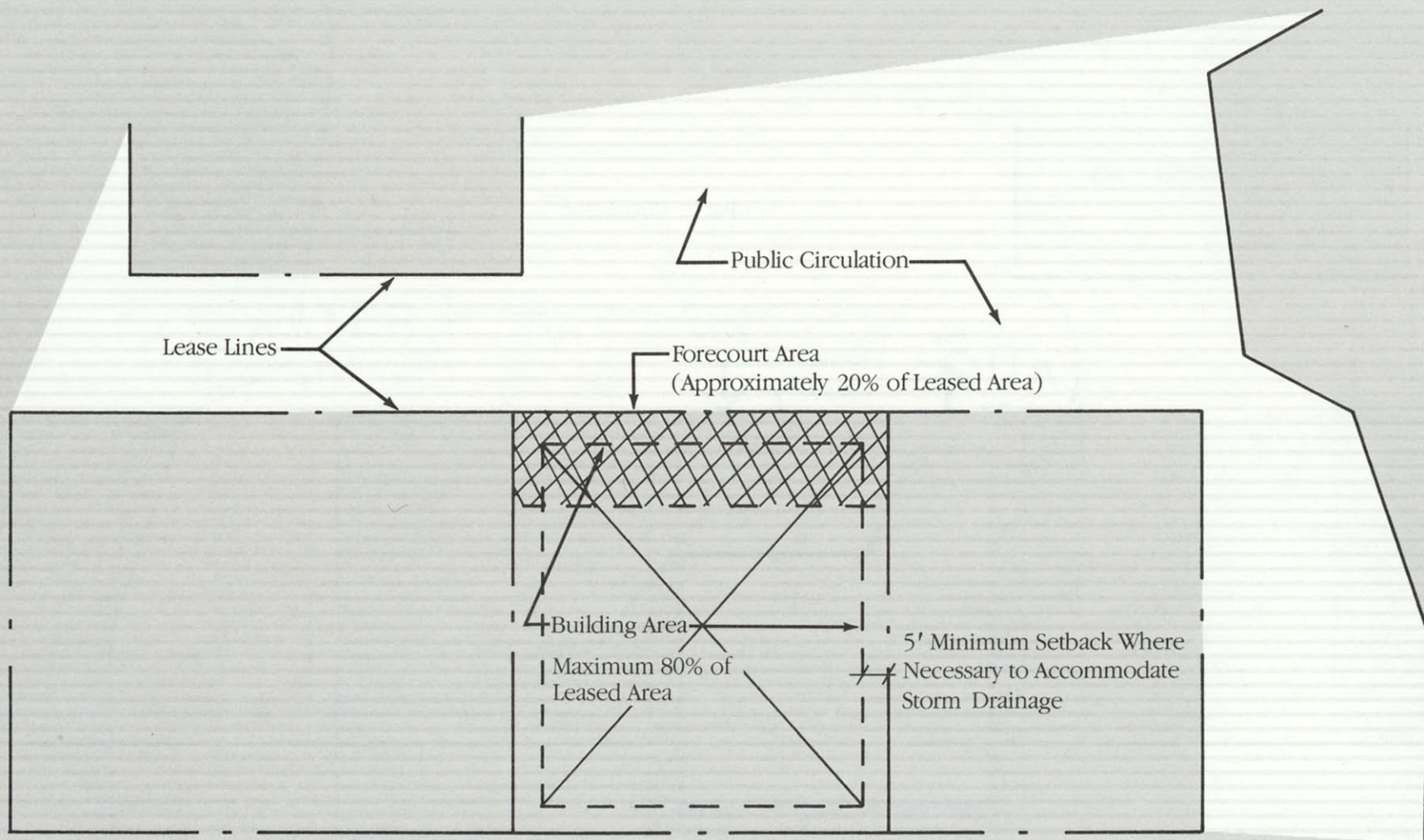
Heating, ventilating, and air conditioning of pavilions on the open site is the sole responsibility of the participant and should be included in the design of all structures located on the open site.

## Fire Prevention

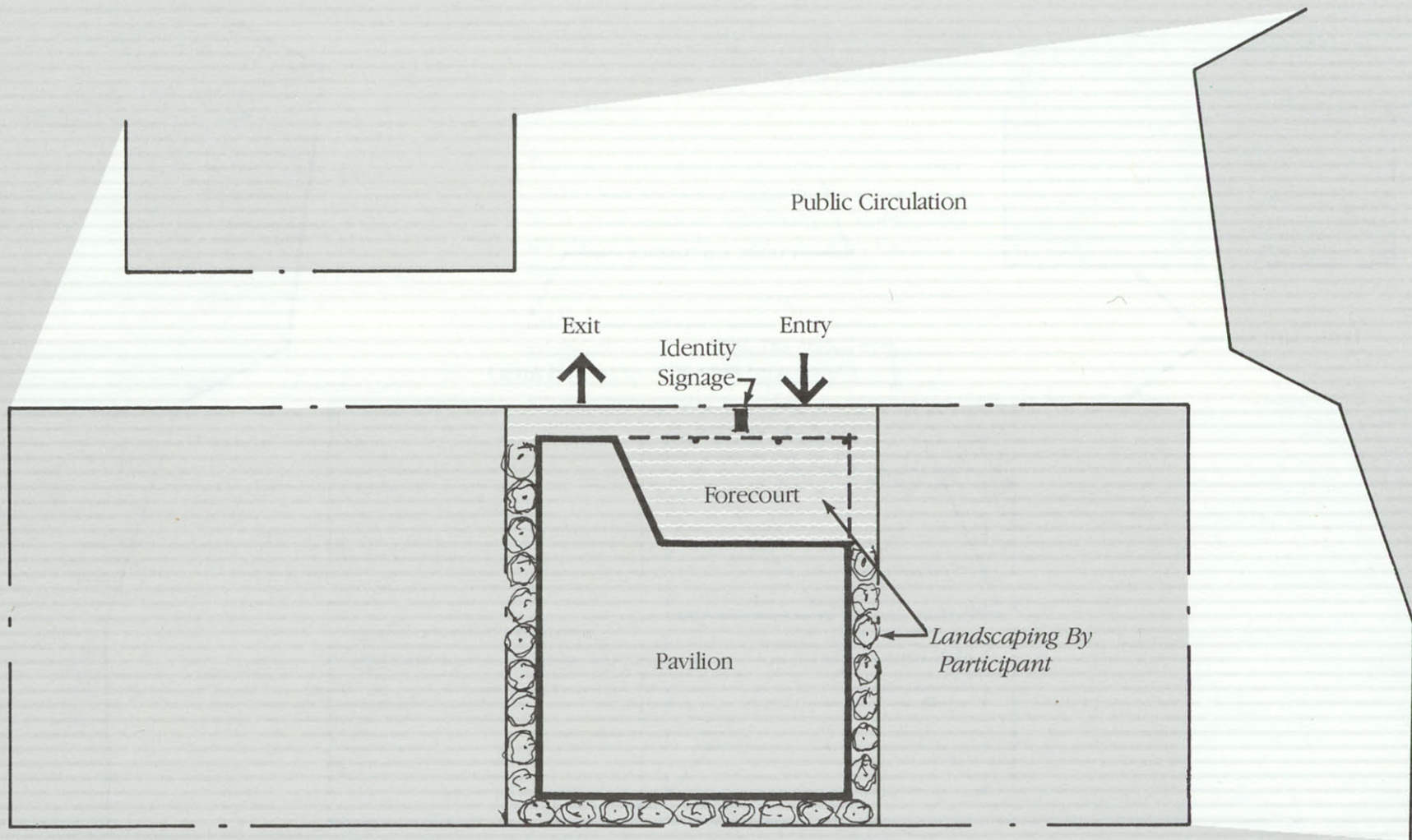
### WORK BY PARTICIPANTS

Design, furnish and install fire protection and suppression equipment as per State Fire Marshall's requirements and according to local building authorities.



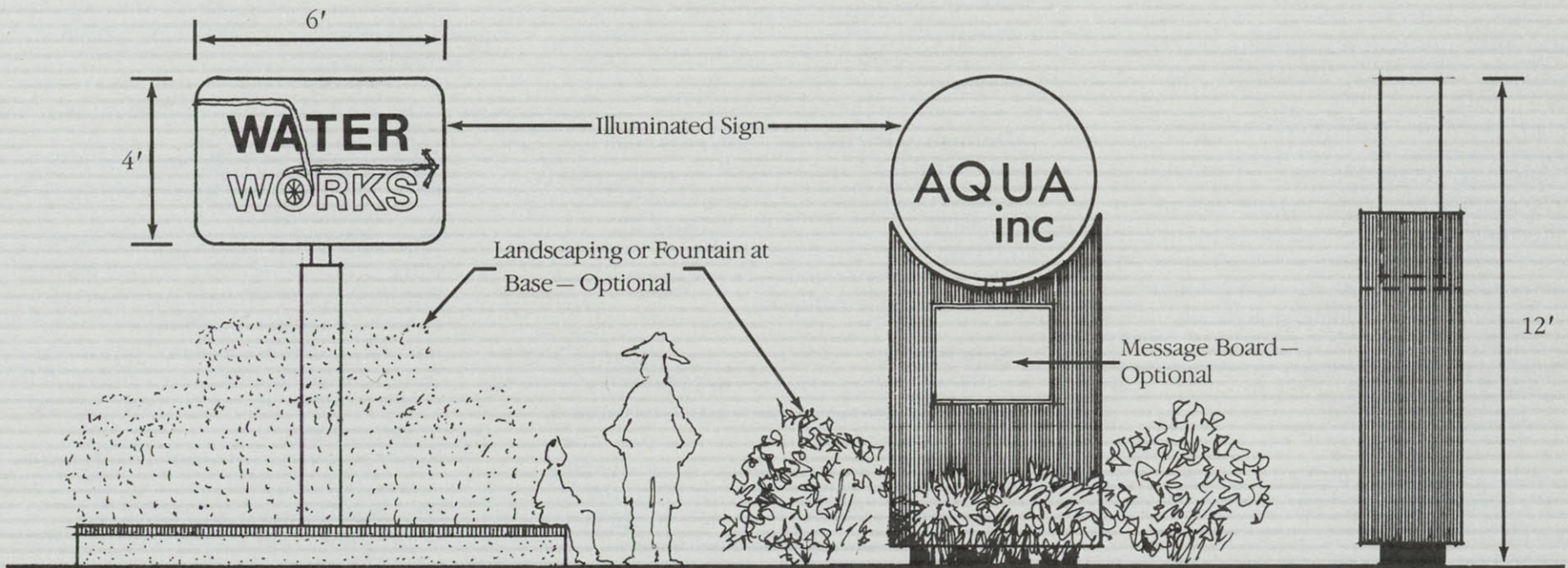
**SITE RESTRICTIONS—PARTIAL PLAN**





SITE CONSIDERATIONS—PARTIAL PLAN





*Note: Dimensions are approximate maximums; shape, color, and graphics are to be determined by participant.*

## IDENTITY SIGNAGE—ELEVATIONS



## Building Description

Located in the center of the Exposition site, the Convention Center is a new building enclosing 350,000 square feet/32,515 square meters of ground level, finished, enclosed and air conditioned exhibit space that is serviced by an extensive system of exhibit support utilities available to participants located within.

The roof framing of the Exhibit Hall is of structural steel trusses supported by 48" diameter cast in place concrete columns. The perimeter walls are 10'-0" high painted concrete block with metal wall panels continuous above. The remainder of the building is of structural steel frame and the exterior is clad in foamed core insulated metal panels.

A watercourse within the building will express the Exposition theme. A bridge crosses the watercourse to accommodate pedestrian circulation. The Exhibit Hall will house corporate and domestic exhibits as well as a theater, entertainment and concessions.

## Design Standards

**Construction by Participant:** Participants will be responsible for all construction of their exhibit including extension of utilities from floor boxes or trussway into their space. Attachment to floors, walls, and ceilings are strictly regulated. (See Specifications that follow).

**Demising Partitions:** Participants are encouraged to coordinate design and construction of demising partitions with adjacent exhibitors. In the event of discrepancies in wall height or length **LWE** will determine responsibility for construction and finishing of the partition.

**Finishes:** All surfaces which are visible to the public are required to be finished. All floors must be covered with carpet, tile, wood or other approved material. The materials shall be removable without damage to the existing concrete floor. Materials should be selected for quality appearance and high durability necessary to withstand the heavy usage during the Exposition.

**Forecourt:** This area, which is required to be approximately 20% of the total leased area, creates a transition from public circulation areas to individual pavilions. It provides an opportunity for strong exhibitor identity, adequate queuing, and further development of the exhibit theme.

It is strongly recommended that participants include in their forecourt areas elements which relate to the Exposition theme such as: water fountains, waterfalls, or water sculpture. Designs should respond to the following considerations:

- Provide for smooth circulation at entry and exit locations.
- Queuing lines are to be included in forecourt areas and should avoid conflict with site circulation.
- Entertainment such as live performances, video displays, live music, or interesting graphic displays should be provided to enhance the exhibit experience.
- Adequate lighting should be provided to illuminate the forecourt area and exhibit facade. Lighting is required on flags and identity panels.
- Lighting should be dynamic and tastefully executed. The use of high intensity discharge fixtures is discouraged. Fluorescent lighting integral with display



cases and equipment hoods is permitted (warm white colored bulbs are required). No other fluorescent fixtures are permitted. Minimize glare resulting from exposed light sources.

Carefully control internal light emitted from within pavilion in order not to over-power or conflict with lighting of the immediate area.

**Signage:** Inside the Exhibit Hall, one identity sign per exhibit is permitted. Signs may be integral with the exhibit facade, free-standing, or hung as banners. Suggestions for signage dimensions are the same as those for new structures on the open site. Because of the scale of the interior of the Exhibit Hall, deviations from the dimensional standards which maintain a proportional relationship between signage size and exhibit facade dimensions may be approved by the Design Review Committee. Any signage proposed for the exterior of the Convention Center is required to be ground supported and independent of the building's exterior skin. This allows the use of the building facade as a backdrop for the signage but avoids the extensive means required of participants to protect the integrity of the existing building envelope from various methods of attachment.

**Colors:** Although it is not required, designers may wish to coordinate their pavilion colors with the palette of colors and patterns that identify their neighborhood of the site (see folder pocket). Proposals for all colors used on the exterior of the exhibit, as well as signage colors, must be approved by the Design Review Committee.

**Sound:** Participants are responsible for maintaining sound levels emanating from their exhibits which do not interfere with other activities on the site. IWE will determine during operation if corrective measures are necessary and participants shall bear the expense of any required sound attenuation devices.

## Specifications: Architectural and Structural

### WORK BY IWE

The Exhibit Hall floor is a smooth finished concrete slab with a bearing capacity of 375 pounds/square foot. Utility floor boxes are located on a 30'-0" grid. The floor is to receive a temporary finish approved by IWE and installed by participant.

The concrete slab is *not* to be penetrated and all forms of attachment are discouraged unless floor can be easily restored to its original condition following the Exposition.

The interior walls of the Exhibit Hall are pre-finished metal wall panels on steel framing above a 10'-0" high base of concrete block.

Concrete columns are 48" in diameter and located on a 90'-0" grid within the Exhibit Hall. Each has zinc plated eyelets located at both 10'-0" and approximately 20'-4" above finish floor for the suspension of lightweight signage and banners.

The roof structure is capable of supporting maximum applied point loads of 200 lbs. at each panel point of the trusses, not to exceed 2000 lbs. per truss. Any proposed loading of and methods of attachment to roof structure must be accompanied by analysis by participant's engineer and be approved by IWE.

Two feet is the minimum distance allowed between any new construction and the existing sprinkler heads.



**WORK BY PARTICIPANTS:**

Furnish and install pavilion structure, interior finishes, exterior finishes, interior partitions, doors, fixtures, exhibitry and equipment. Acoustically isolate theater or audio visual displays.

Pavilions within the Exhibit Hall are recommended to be entirely independent of the building's structure, and interior finishes. This avoids costly participant restoration of the Exhibit Hall to its original condition.

Participants are responsible for leaving their space in the same condition in which they received it.

**Plumbing****WORK BY LWE**

Located within the trussway above at every column or pair of columns in the Exhibit Hall is a utility station comprised of the following air, water, and natural gas connections:

- 1" compressed air supply line terminating with a ball valve and hose fitting. This line is not connected to a compressor but is run to a remote location where it is possible for participants to furnish and install their own compressor.
- 1¼" cold water supply line terminating with a ball valve and hose fitting, providing a minimum of 10 gallons/minute at a minimum pressure of 25 pounds/square inch.
- 1" natural gas supply line terminating with a gas cock and hose fitting, providing a minimum of 75 cubic feet/hour at 6" of water column pressure.

Similar domestic water service is also available to participants from certain floor boxes indicated on the Participant Utility Plan.

"Clearwater" drainage is provided through each floor box in the Exhibit Hall to a 3" funnel drain line run below the slab.

**WORK BY PARTICIPANTS**

Furnish and install all plumbing fixtures within participant exhibit areas including connections to nearest drain and to nearest cold water tap (not to exceed 1¼") as well as any other plumbing work required for participant's exhibit.

**Electrical****WORK BY LWE**

Each floor box in the Exhibit Hall provides electrical services comprised of the following:

One 100 AMP, 120/208V, three phase, five wire, plug-in receptacle, with circuit breaker into which participants may plug their own distribution panel or "house box."

Four standard 20 AMP, 120V, single phase, three wire receptacles, each with its own circuit breaker.

Access to a system of communication conduit and telephone conduit connecting floor boxes under the slab.

Certain free-standing columns in the Exhibit Hall indicated on the *Participant Utility Plan*, (in folder pocket) have a standard 60 AMP, 480V receptacle set in them at approximately 4'-0" above the Exhibit Hall floor.



Critical receptacles (24 hour power) of 20 AMPS and 120/208V are available as located on *Participant Utility Plan*.

Located within the trussway above column lines 3, 4, 7, 9, 12, and 13 are continuous plug-in buss ducts, each capable of providing a minimum of 1000 AMPS of either 120V, 208V, or 480V electrical service. It is recommended that participant connections take place above columns.

#### WORK BY PARTICIPANTS

Furnish and install all electrical work within participant's space as well as any feeders or extensions of service required to connect to Convention Center system, including (where applicable): electrical room, transformer, distribution panelboards, and branch circuit panels, lighting fixtures, receptacles, telephone raceway and junction boxes.

Participant telephone service, if applicable, available at each floor box through South Central Bell Telephone Company.

## HVAC

#### WORK BY LWE

The Convention Center HVAC system is designed to maintain a temperature of

75 F by providing 58 BTU/square foot in the open Exhibit Hall. Air is dropped from registers located in the trussways above.

#### WORK BY PARTICIPANTS:

In situations where certain portions of an exhibit are required to be environmentally isolated, it is possible to tie into the Convention Center HVAC system. It is important that any extension of the HVAC system simply divert the air being supplied and not hamper in any way the flow of air. Such extensions must be coordinated with and approved by LWE and the system is to be restored to its original condition by the participants following the Exposition.

## Fire Protection

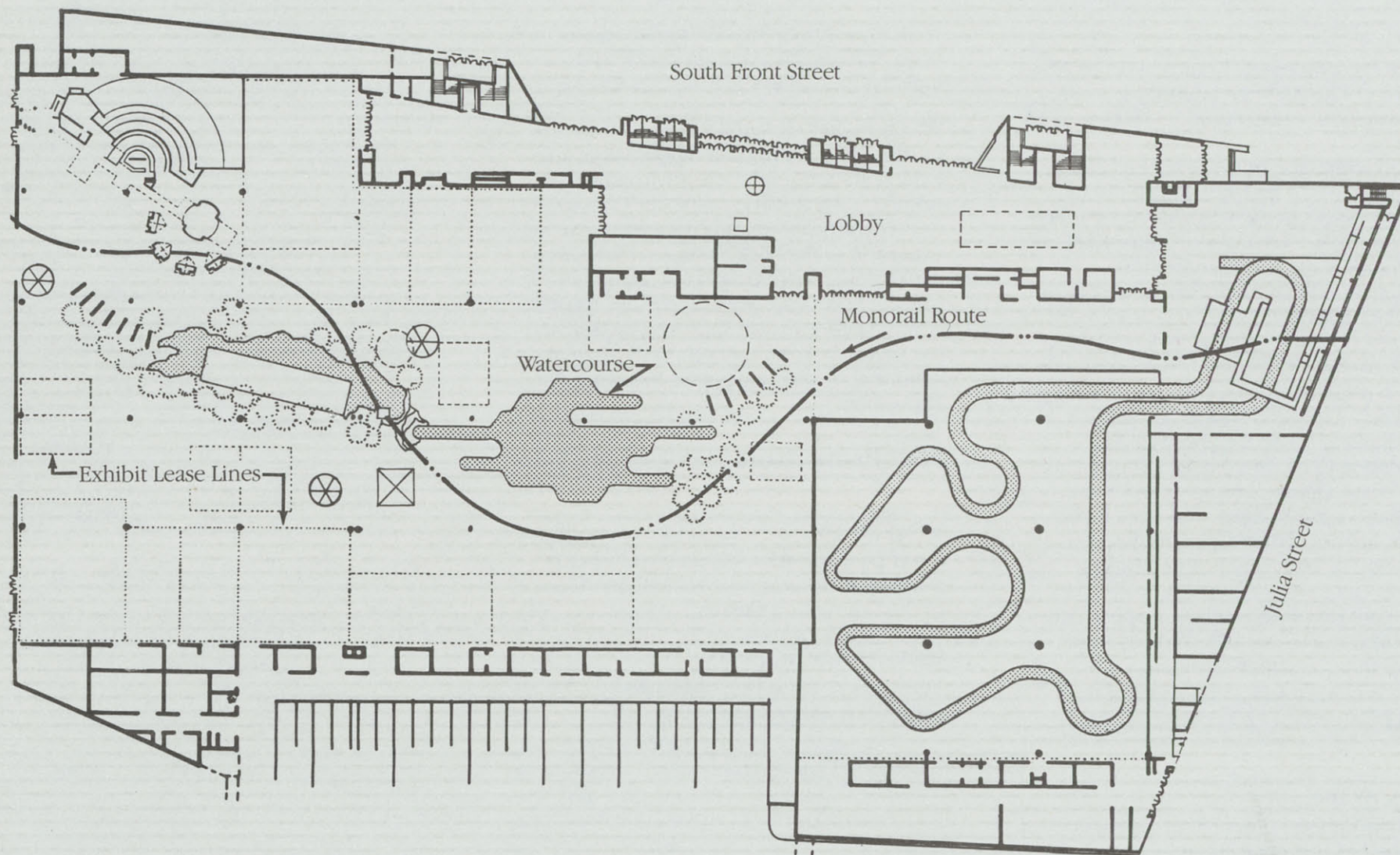
#### WORK BY LWE

A wet pipe sprinkler system directly below the steel structure protects the Exhibit Hall of the Convention Center.

#### WORK BY PARTICIPANTS:

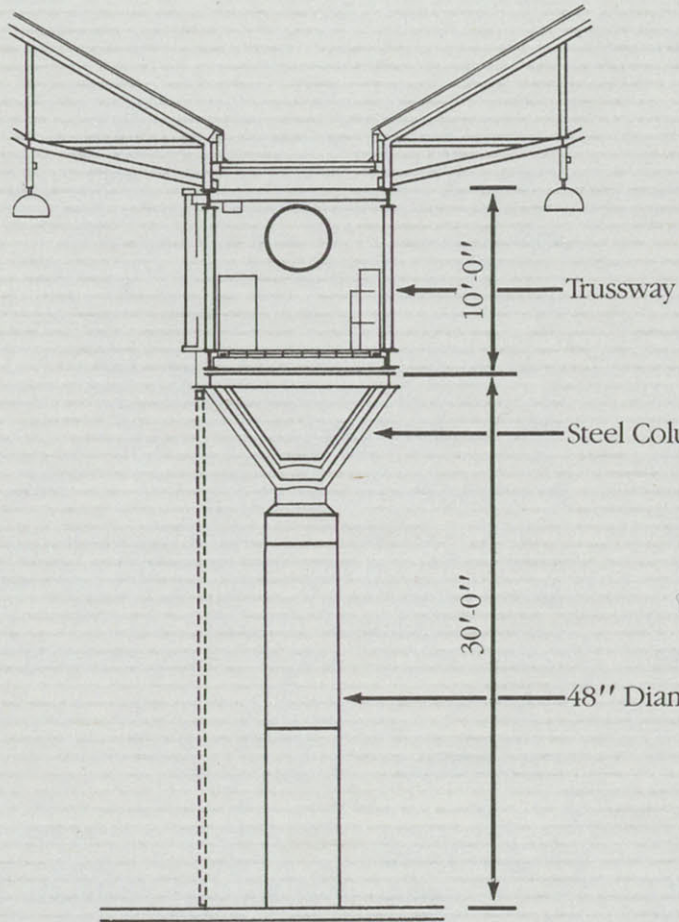
Furnish and install proper branch line extensions where required.





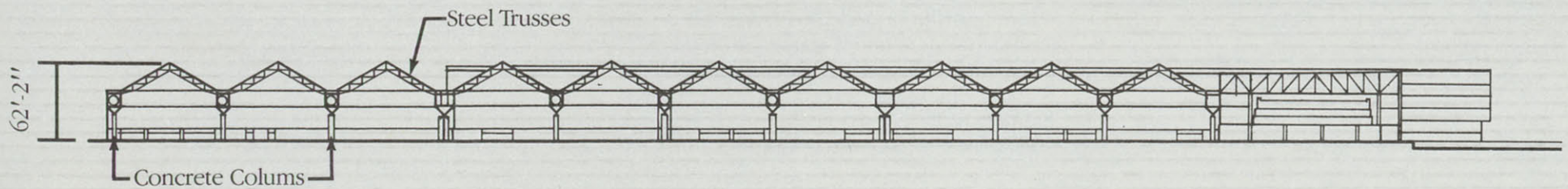
FIRST FLOOR PLAN





**COLUMN AND TRUSS DETAIL**

**LONGITUDINAL SECTION**





## Building Description

The Italian Village—West Building is a part of the Italian piazza which is a festive themed area containing exhibits, entertainment, food, and shopping. It is located at the southwest corner of the site. The portion of the building designated as a corporate exhibit area is approximately 7,000 square feet at the north end of the building.

Major building materials are brick exterior walls and heavy timber beams and columns. Floor are concrete and the ceilings are exposed wood joists.

## Design Standards

**Facade treatment:** The participant will have the opportunity to develop the entire facade of their portion of the building. Because of the highly thematic character of the area, facade treatment will be required to be compatible with the rest of the building which is designed as an Italian village street scene.

**Forecourt:** Requirements are similar to those for new structures on the open site. (See previous section).

**Signage:** Identity signage may be located adjacent to the entrance as a free-standing sign in the forecourt area or placed directly on the building wall at the first floor level. Size standards are similar to those for outdoor corporates.

**Finishes:** All new interior finishes and proposed exterior signage and banners are the responsibility of the participant and must be coordinated with LWE. Materials should be chosen for quality, appearance and maximum durability.

**Colors:** Although it is not required, designers may wish to coordinate their pavilion colors with the palette of colors and patterns that identify their neighborhood of the site (see folder pocket). Proposals for all colors used on the exterior of the building as well as signage colors must be approved by the Design Review Committee.

## Specifications: Architectural and Structural

### WORK BY LWE

Floors at the ground level are concrete and will support uniformly distributed live loads of 100 lbs/sq. ft. and if applicable, total point loads will need to be determined by the participant's registered professional engineer. Existing walls that remain are exposed brick and will be in cleaned condition.

Existing ceilings are exposed wood beams, joists, and wood decking and will be in cleaned condition ready for painting. It is approximately 15'-0" to the bottom of the joists and 16'-0" to the underside of the wood decking.

Columns are both 16" square and 16" diameter on a typical bay spacing of 12'-0" x 16'-0)". (See Plan).

### WORK BY PARTICIPANTS

Furnish and install all interior walls, doors, finishes, fixtures, exhibitry, and equipment. All structural or facade modifications to the existing building are to be returned to original condition unless otherwise approved by LWE.

## Plumbing

### WORK BY LWE

One 6" sanitary sewer line will be stubbed into the building underground from Poe Street.



One 2" metered water service will be stubbed into building below first floor from Poe Street. One 2½" metered water service will be stubbed into building below first floor from Poe Street.

A high pressure gas line will be stubbed up 6" — above sidewalk adjacent to exterior wall on Howard Avenue and terminated. Anticipated maximum load of 2000 CFH.

Provide stubs for all supply lines within 5' of participant's lease line.

#### WORK BY PARTICIPANTS

Extend all supply lines into participant's space from a point 5' outside of participant's lease line.

Furnish and install all plumbing fixtures and any and all equipment required for particular occupancy including connections to sanitary soil, waste and participant furnished vents and to cold water stubs, as well as all piping, valves, insulation, domestic hot water and all other plumbing work required for participant's space.

Furnish and install all gas fired equipment required for participant occupancy.

## Electrical

#### WORK BY IWE

Participant exhibit areas are provided with 208Y/120 volt, 3 phase, 4 wire service at each distribution panel located in electrical rooms. Spaces are provided in the panelboard for the installation of fused switches or circuit breakers to serve spaces with a maximum connected load of 12 watts/square foot. Feeder for participant's space will be extended from electrical meter room to within 5' of participant's lease line.

#### WORK BY PARTICIPANTS

Extend service feeders (208Y/120 volt, 3 phase, 4 wire) from junction box located within 5' of participant's lease line to participant's electrical distribution panel.

Arrange with the telephone company for service cable installation and for all telephone equipment installation.

Furnish and install all electrical work within participant's space including: electrical room, meter, transformer, distribution panelboards and branch circuit panels, lighting fixtures, receptacles, miscellaneous power, telephone raceway and junction boxes, security system, connections to participant's air handling units, and participant's HVAC system controls (if electric).

## HVAC

#### WORK BY IWE

Design Conditions:

SUMMER OUTSIDE: 95 degrees FDB,  
80 degrees FWB

SUMMER INSIDE: 75 degrees FDB, 50% R.H.  
OCCUPANCY; For chilled water plant capacity —  
one person per 75 sq. ft. of gross area.

OUTSIDE AIR SUPPLY: 7.5 CFM per person  
chilled water plant capacity.

Chilled water distribution — supply and return mains will be installed at the ceiling of the first level, suspended from the structure above. This system serves all air handling units for the building, and is capable of providing a maximum of 75 BTU/square foot based upon 2.4 gallons/minute/ton of 45 degree Fahrenheit water at taps.

Return water temperature shall be 55 degrees Fahrenheit. A complete distribution system has been provided by IWE to serve the participant's space. Operations and maintenance of participant's chilled water system equipment connected to IWE chilled water supply is required to be coordinated with the IWE physical plant maintenance personnel.



## Fire Protection

### WORK BY LWE

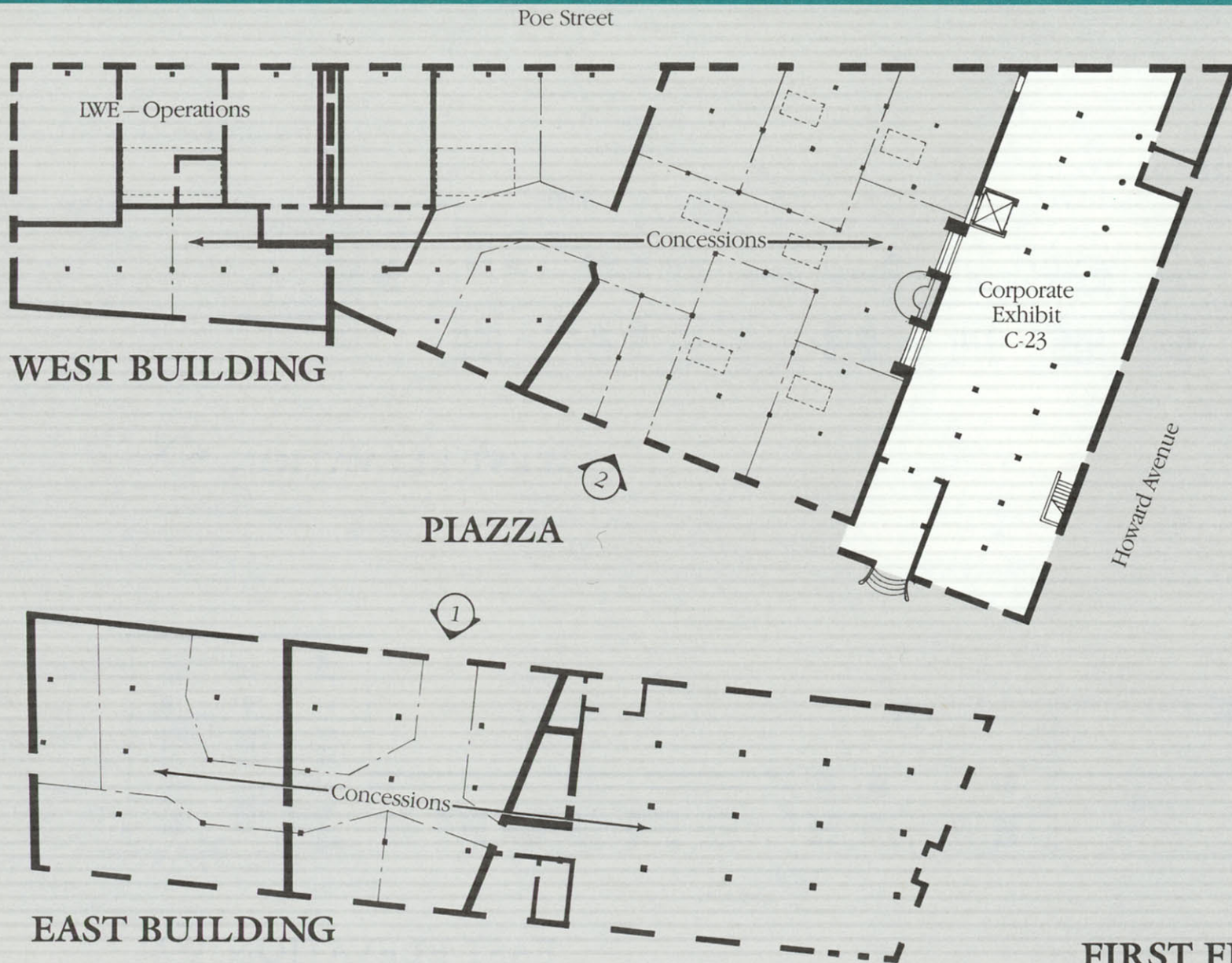
Existing basic wet pipe sprinkler system throughout building.

### WORK BY PARTICIPANTS

Furnish and install all branch lines, drops to heads, and additional heads required due to partitioning, dropped ceilings, etc., throughout participant's area.

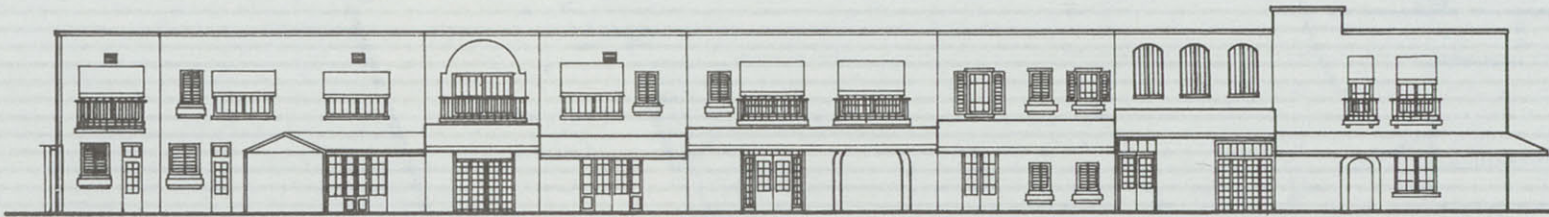
Furnish and install fire extinguishers, as per State Fire Marshall's requirements, throughout participant's area.



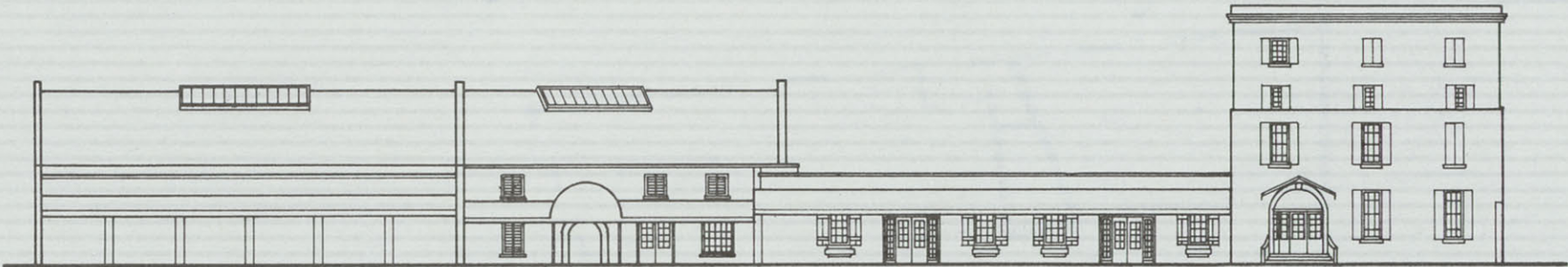


FIRST FLOOR PLAN





WEST ELEVATION ①



EAST ELEVATION ②



## Building Description

The Old Rice Mill is located just inside the Canal gate (north entrance gate) adjacent to the entrance rotunda. It faces South Front Street which is the primary north/south pedestrian route through the site.

Built at the turn of the century, this 26,000 square foot multi-level structure was originally used as a rice mill and warehouse. It has been renovated for use by the 1984 Louisiana World Exposition as corporate exhibit space, visitor services, and merchandise concessions. Major materials are heavy timber beams and columns, concrete ground floor, wood decking upper floors, and brick exterior walls faced with stucco. Fabric canopies will provide color and shade for the ground floor.

## Design Standards

**Facade treatment:** Improvements should be consistent with the existing architecture and may not permanently alter the building unless approved by LWE. The closure of existing wall openings at the ground floor level shall be the responsibility of the participant and shall be subject to the approval of the Design Review Committee.

**Forecourt:** Requirements are similar to those for new structures on the open site. (See previous section.)

**Signage:** Signage may be free-standing or attached to the building. Dimensional standards are similar to those for new structures on the open site. The participant is responsible for the design, fabrication and installation of all signage. LWE will coordinate the design of all signage with the neighborhood color palette. Temporary signs are not permitted.

**Finishes:** Floors at the ground level are concrete and are required to have a finish material. Existing interior wall surfaces are exposed brick. New partitions are steel studs with gypsum board finish. Ceilings are exposed wood joist and decking. Participants are responsible for all new interior finishes. Design and color selection must be approved by LWE. Materials should be chosen for quality appearance and maximum durability.

**Colors:** Although it is not required, designers may wish to coordinate their pavilion colors with the palette of colors and patterns that identify their neighborhood of the site (see folder pocket). Proposals for all colors used on the exterior of the building as well as signage colors must be approved by the Design Review Committee.

## Specifications: Architectural and Structural

### WORK BY LWE

Floors at the ground level are concrete and will support uniformly distributed live loads of 100 lbs/sq. ft. and if applicable, total allowable point loads will need to be determined by the participant's registered professional engineer.

Demising partitions of steel studs with one layer of sheet rock each side are provided at lease lines where there are no existing walls.

Existing walls that remain are exposed brick and will be in cleaned condition.

Existing ceilings are exposed wood joists and wood decking and will be in cleaned condition ready for painting. It is approximately 15'-0" to the bottom of the joists and 16'-0" to the underside of the wood decking.

### WORK BY PARTICIPANTS

Furnish and install all interior walls, doors, finishes, fixtures, exhibitry and equipment.



All structural or facade modifications to the existing building are to be returned to original condition unless otherwise approved by IWE.

## Plumbing

### WORK BY IWE

A new 6" sanitary sewer will be stubbed into building from Fulton Street.

A new 2" domestic water service will be stubbed into building below first floor from Fulton Street.

A high pressure gas line will be stubbed up 6"—above sidewalk adjacent to exterior wall and extended into a gas meter room. Anticipated maximum load of 400 CFH.

Provide stubs for all supply lines within 5' of participant's lease line.

### WORK BY PARTICIPANT'S

Extend all supply lines into participant's space from a point 5' outside of participant's lease line.

Furnish and install all plumbing fixtures and any and all equipment required for particular occupancy, including connections to sanitary soil, waste and participant furnished vents and to cold water stubs.

Furnish and install all piping, valves, insulation, domestic hot water and all other plumbing work required for participant's space.

Furnish and install all gas fired equipment required for particular occupancy.

## Electrical

### WORK BY IWE

Participant exhibit areas are provided with 208Y/120 volt, 3 phase, 4 wire service at each distribution panel located in electrical rooms. Spaces are provided in the panelboard for the installation of fused switches or circuit breakers to serve spaces with a maximum connected load of 12 watts/square foot. Feeder for participant's space will be extended from electrical meter room to within 5' of participant's lease line.

### WORK BY PARTICIPANTS

Extend service feeders (208Y/120 volt, 3 phase, 4 wire) from junction box located within 5' of participant's space to participant's electrical distribution panel. Arrange with the South Central Bell Telephone Company for service cable installation and for all telephone equipment installation.

Furnish and install all electrical work within participant's space including: electrical room, meter, transformer, distribution panelboards and branch circuit panels, lighting fixtures, receptacles, miscellaneous power, telephone raceway and junction boxes, public address and music system, security system, connections to participant's air handling units, and participant's HVAC system controls (if electric).

## HVAC

### WORK BY IWE

Design Conditions:

SUMMER OUTSIDE: 95 degrees FDB,  
80 degrees FWB

SUMMER INSIDE: 75 degrees FDB, 50% R.H.

OCCUPANCY: For chilled water plant capacity—  
one person per 75 sq. ft. of gross area.

OUTSIDE AIR SUPPLY: 7.5 CFM per person  
chilled water plant capacity.

Chilled water distribution—supply and return mains will be installed at the ceiling of the first level, suspended from the structure above.



Valved taps will be provided, and branch mains extended to within 5' of participant's space. This system serves all air handling units for the building, and is capable of providing a maximum of 69 BTU/square foot based upon 2.4 gallons/minute/ton of 45 degree Fahrenheit water at taps. Return water temperature shall be 55 degrees Fahrenheit. Operation and maintenance of participant's chilled water system equipment connected to LWE chilled water supply is required to be coordinated with the LWE physical plant maintenance personnel.

#### WORK BY PARTICIPANTS

Furnish and install all air handling equipment, equipment controls, ductwork, and related grilles, registers and condensate drain system within participant's space. Extend chilled water lines from 5' outside of lease space into space, and extend to air handling equipment.

Coordinate installation and operation of equipment with LWE's physical plant maintenance personnel. Participants are responsible for the maintenance of all equipment within their leased space.

## Fire Protection

#### WORK BY LWE

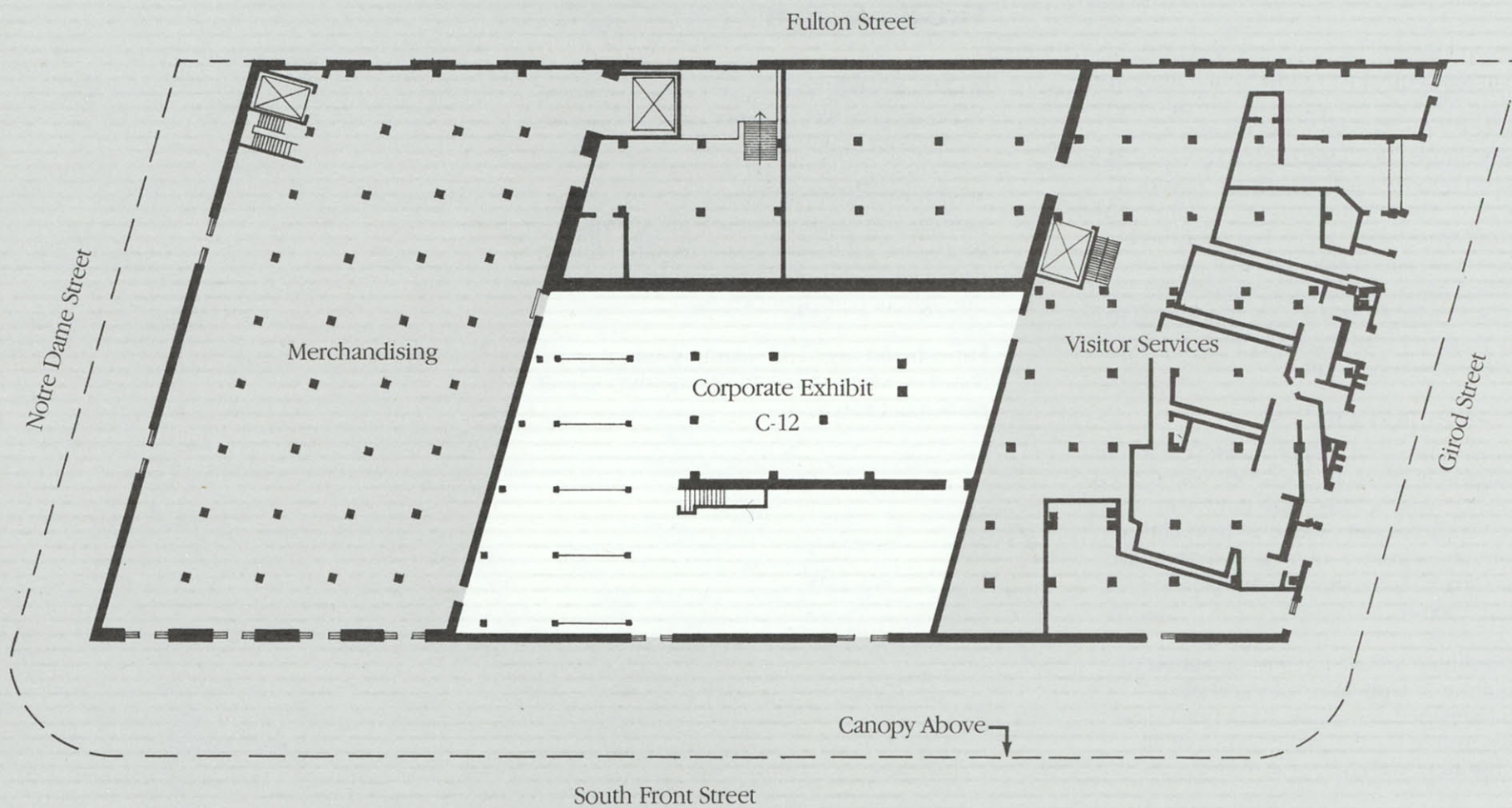
Existing basic wet pipe sprinkler system throughout building.

#### WORK BY PARTICIPANTS

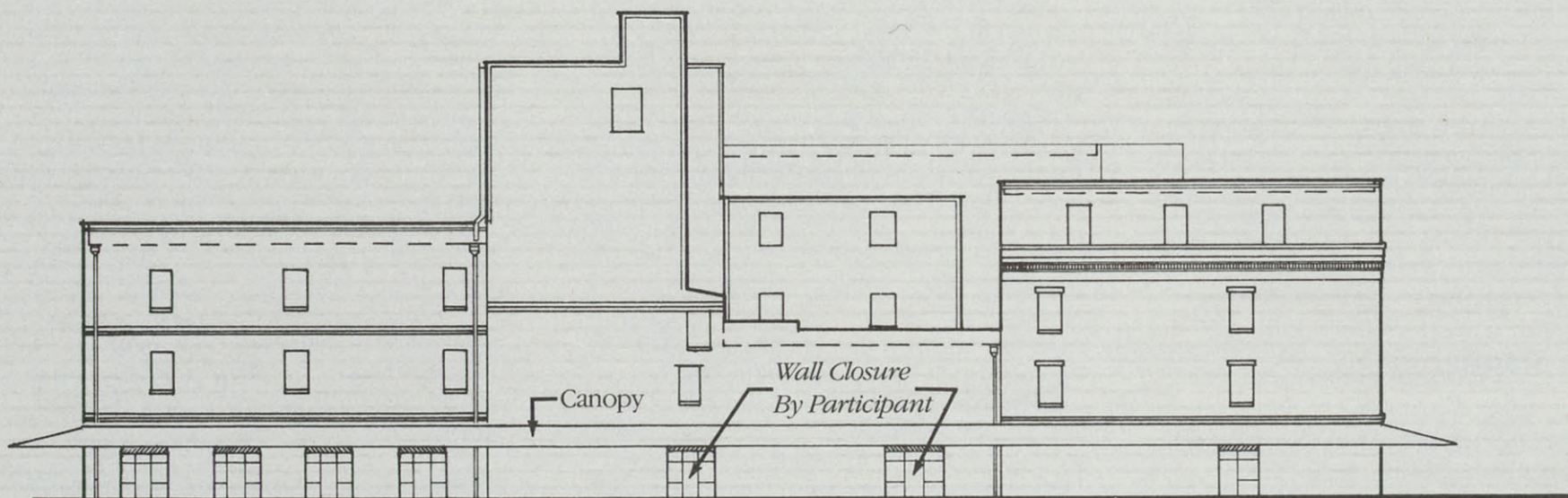
Furnish and install all branch lines, drops to heads, and additional heads required due to partitioning, dropped ceilings, etc., throughout participant's area.

Furnish and install fire extinguishes as per State Fire Marshall's requirements throughout participant's area.



**FIRST FLOOR PLAN**





EAST (SOUTH FRONT STREET) ELEVATION



## Building Description

This renovated 1850's warehouse is one of two buildings which comprise the Fulton Street Market. Located on the western edge of the site at the intersection of Julia and Fulton Streets, it is part of a group of renovated historic warehouse buildings.

The building is a two level brick structure with heavy timber post and beam supports. A series of existing openings provide access to the ground floor from Fulton Street. There is a new fabric awning over these openings. The ground floor will be used for corporate exhibits, concession space, and visitor services.

## Design Standards

**Facade treatment:** Improvements should be consistent with existing architecture and may not permanently alter the building unless approved by IWE. Existing exterior wood doors will remain and may be used as security closures by the participant. Any new temporary closure is the responsibility of the participant and must be approved by IWE.

**Forecourt:** Requirements are similar to those for new structures on the open site. (See previous section.)

**Signage:** Identity signage may be free-standing or attached to the building adjacent to the entrance into the participant's space. The sign is required to be compatible with the building architecture. Dimensional standards are similar to those for new structures on the open site. Only one sign is permitted. Participants are also responsible for all directional signage. IWE will coordinate the design of all signage with the neighborhood color palette. Temporary signs are not permitted.

**Finishes:** Floors at the ground level are concrete and are required to have a finish material. Existing interior wall surfaces are exposed brick. New partitions are steel studs with gypsum board finish. Ceilings are exposed wood joists and decking. Participants are responsible for all new interior finishes. Design and color selection must be approved by IWE.

**Colors:** Although it is not required, designers may wish to coordinate their pavilion colors with the palette of colors and patterns that identify their neighborhood of the site (see folder pocket). Proposals for all colors used on the exterior of the building as well as signage colors must be approved by the Design Review Committee.

## Specifications: Architectural and Structural

### WORK BY IWE

Floors at the ground level are concrete and will be leveled as necessary to provide a smooth surface. They will support uniformly distributed live loads of 100 lbs/sq. ft. if applicable, total allowable point loads will need to be determined by the participant's registered professional engineer.

Existing walls that remain are exposed brick and will be in cleaned condition. Openings in existing exterior walls will have new or refurbished double leaf wooden shutters. The existing elevator and stair within the space will be sealed off with new metal stud and gypsum board partitions.

Existing ceilings are exposed wood joists and wood decking and will be in cleaned condition. It is approximately 10'-0" to the bottom of the joists and 11'-0" to the underside of the wood decking.

### WORK BY PARTICIPANTS

Furnish and install all interior walls, doors, finishes, fixtures, exhibitry, and equipment. All structural or facade modifications to the existing building are to be returned to original condition unless otherwise approved by IWE.



## Plumbing

### WORK BY LWE

In vicinity of column lines 19-21, a high pressure gas line will be stubbed up 6" above sidewalk adjacent to exterior wall and extended into a gas meter room. Extend gas lines from gas meter room to within 5' of participant's lease line. Anticipated maximum load of 5000 CFH.

### WORK BY PARTICIPANT

Furnish and install all plumbing fixtures and any and all equipment required for particular occupancy, including connections to sanitary soil, water and participant furnished vents and to cold water stubs.

Furnish and install all piping, valves, insulation, domestic hot water and all other plumbing work required for participant's space.

Extend gas line from a point 5' outside of participant's space into space. Furnish and install all gas fired equipment required for particular occupancy.

## Electrical

### WORK BY LWE

Participant exhibit areas are provided with 208Y/120 volt, 3 phase, 4 wire service at each distribution panel located in electrical rooms indicated on plans. Spaces are provided in the panelboard for the installation of fused switches or circuit breakers to serve spaces with a maximum connected load of 12 watts/square foot. Feeder for participant's space will be extended from electrical meter room to within 5 feet of participant's lease line.

### WORK BY PARTICIPANT

Extend service feeders 208Y/120 volt, 3 phase, 4 wire service from junction box located within 5' of leased space to participant's electrical room.

Furnish and install all electrical work within participant's space including: electrical room, meter, transformer, distribution panelboards and branch circuit panels, lighting fixtures, receptacles, miscellaneous power, telephone raceway and junction boxes, security system, connections to participant's air handling units, and participant's HVAC system controls (if electric).

Arrange with the South Central Bell Telephone Company for service cable installation and for all telephone equipment installation.

## HVAC

### WORK BY LWE

Design Conditions:

SUMMER OUTSIDE: 95 degrees FDB,  
80 degrees FWB

SUMMER INSIDE: 75 degrees FDB, 50% R.H.

OCCUPANCY: For chilled water plant capacity —  
one person per 75 sq. ft. of gross area

OUTSIDE AIR SUPPLY: 7.5 CFM per person  
chilled water plant capacity.

Chilled water distribution — supply and return mains will be installed at the ceiling of the first level, suspended from the structure above. Valved taps will be provided. This system serves all air handling units for the building and is capable of providing a maximum of 70 BTU/square foot based upon 2.4 gallons/minute/ton of 45 degree Fahrenheit water at taps. Return water temperature shall be 55 degrees Fahrenheit. Operation and maintenance of participant's chilled water system equipment connected to LWE chilled water supply is required to be coordinated with the LWE physical plant maintenance personnel.



**WORK BY PARTICIPANTS**

Furnish and install all air handling equipment, equipment controls, ductwork, and related grilles, registers and condensate drain systems within participant's space. Extend chilled water lines from mains into different spaces as required, and extend to air handling equipment.

Coordinate installation and operation of equipment with IWE's physical plant maintenance personnel. Participants are responsible for the maintenance of all equipment within their leased space.

**Fire Protection****WORK BY IWE**

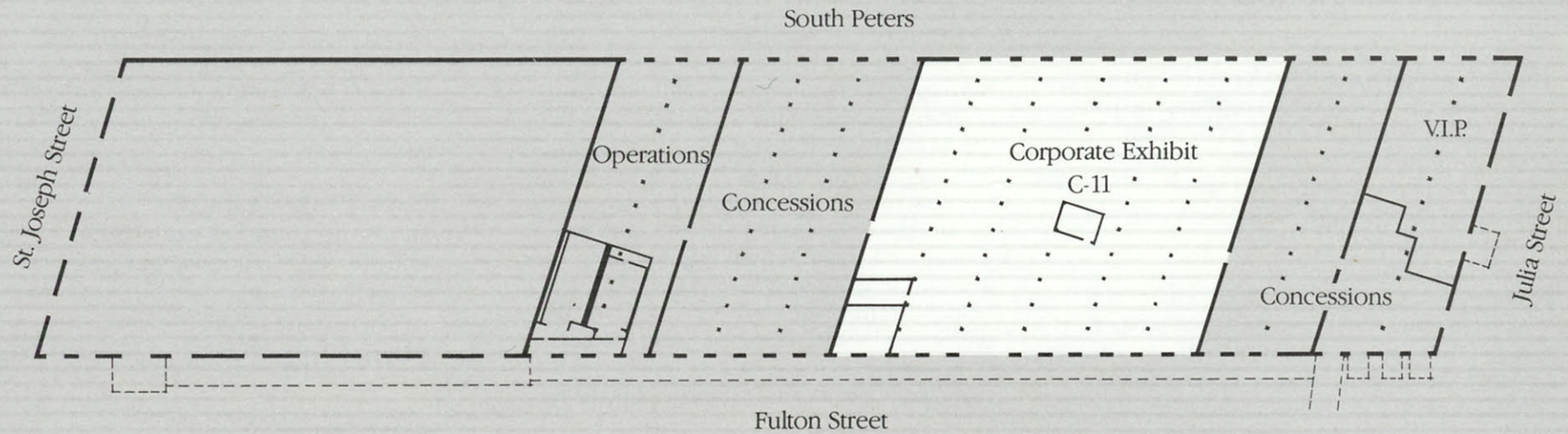
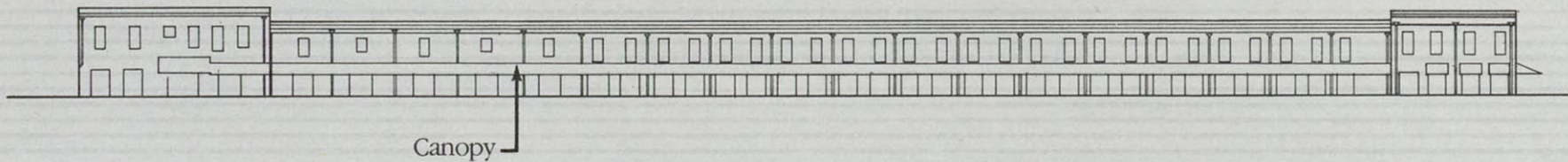
Existing basic wet pipe sprinkler system throughout building.

**WORK BY PARTICIPANTS**

Furnish and install all branch lines, drops to heads, and additional heads required due to partitioning, dropped ceilings, etc., throughout participant's area.

Furnish and install fire extinguishers as per State Fire Marshall's requirements, throughout participant's area.



**FIRST FLOOR PLAN****EAST ELEVATION**



## Building Description

The Wonderwall spans 2300 feet between the Canal Gate (north entrance) rotunda and the Watergarden near the Bridge gate (south entrance) rotunda. It is constructed in the median ground of South Front Street which runs along the west side of the New Orleans Convention Center.

This continuing kaleidoscope of ornamental designs from eleven periods of architectural history is a stream of light, water, music, art, topiary, fountains, aviaries, sculpture, video diversions, entertainments, and concession areas. It is constructed of concrete, stucco, corrugated and sheet metal, wire mesh, paper-mache, fabric and neon. The wall is 11'-2" wide and varies in height to over 50'.

## Design Standards

**Facades:** Participants are responsible for all design and construction work of any nature that is to take place within their lease lines. Because of the complex and highly thematic nature of the Wonderwall, all design and

construction must be closely coordinated with LWE. All structures are to be self supporting and in no way modify other elements of the Wonderwall.

**Signage:** There are two opportunities for identity signage for participants located in the Wonderwall. These are: 1) Plaques or banners attached to the cantilevered signage blades which extend beyond the Wonderwall facade visible to the public walkways, and 2) sign boards within the lease space attached to the participant's facade or suspended from the concrete slab above. (See drawings.) Design, fabrication, and installation of all signage is the responsibility of the participant and must be approved by LWE.

**Colors:** Although the design of the Wonderwall will permit many color schemes, coordination with the Wonderwall neighborhood color palette is required. LWE will provide color samples for participant use.

## Specifications: Architectural and Structural

### WORK BY LWE:

The ground level is a cast in place concrete frame. Columns are 12" square and a typical bay size is 12'-1" x 11'-2". The floor will be a 4" concrete slab. A variety of free-standing architectural elements occur at the ground level along the sides of the concrete frame. The second level structure is metal scaffolding which supports decorative architectural

elements constructed of wire mesh, aluminum sheets, and other lightweight materials. The concrete frame and superstructure will be painted a broad spectrum of primary and pastel colors.

### WORK BY PARTICIPANTS

Furnish and install all exterior and interior walls, doors, finishes, fixtures, exhibitry and equipment.

## Plumbing

### WORK BY LWE

A 1" domestic water service will be provided within the participant's lease line at the center column. Water consumption is limited to 15 gallons per minute.

A 4" sanitary sewer will be provided within the participant's lease line at the center column.



**WORK BY PARTICIPANTS**

Furnish and install all plumbing fixtures and any and all equipment required for particular occupancy, including connections to sanitary sewer, and cold water stub.

**Electrical****WORK BY LWE**

Participant leased spaces are provided with 208Y/120 volt, 3 phase, 4 wire service at a point within 5' of the lease line.

**WORK BY PARTICIPANTS**

Extend service feeders to participant's space. Furnish and install all electrical work within leased space including: required transformers, distribution panelboards, branch circuit panels, lighting fixtures, receptacles, telephone raceway and junction boxes, security system, and connections to participant's air handling units and HVAC system controls (if applicable). Arrange with the South Central Bell Telephone Company for service cable installation and for all telephone equipment installation.

**HVAC****WORK BY PARTICIPANTS**

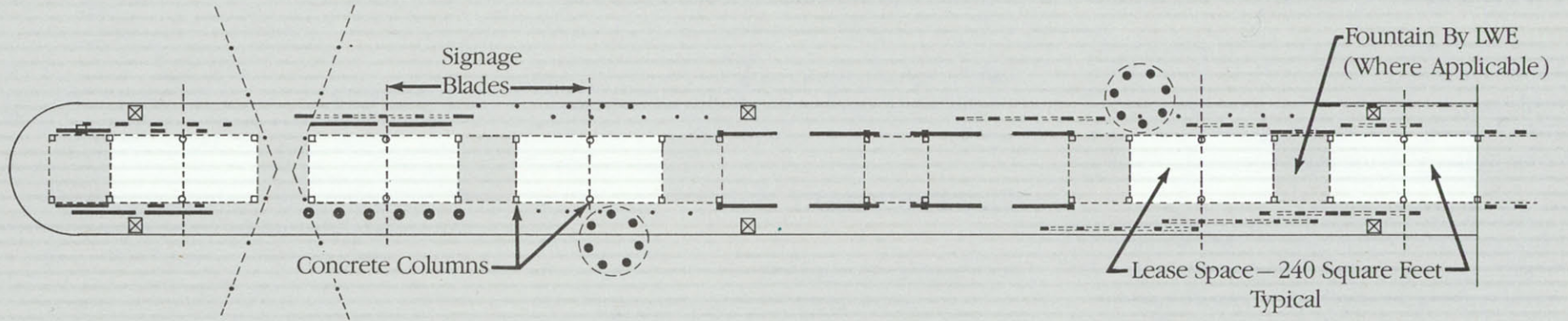
Furnish and install all air handling equipment, controls, ductwork, and related grilles, registers, and condensate drain system within participant's space. All equipment is required to be shown on the participant's drawings.

Participants are responsible for the maintenance of all equipment within their space.

**Fire Protection****WORK BY PARTICIPANTS**

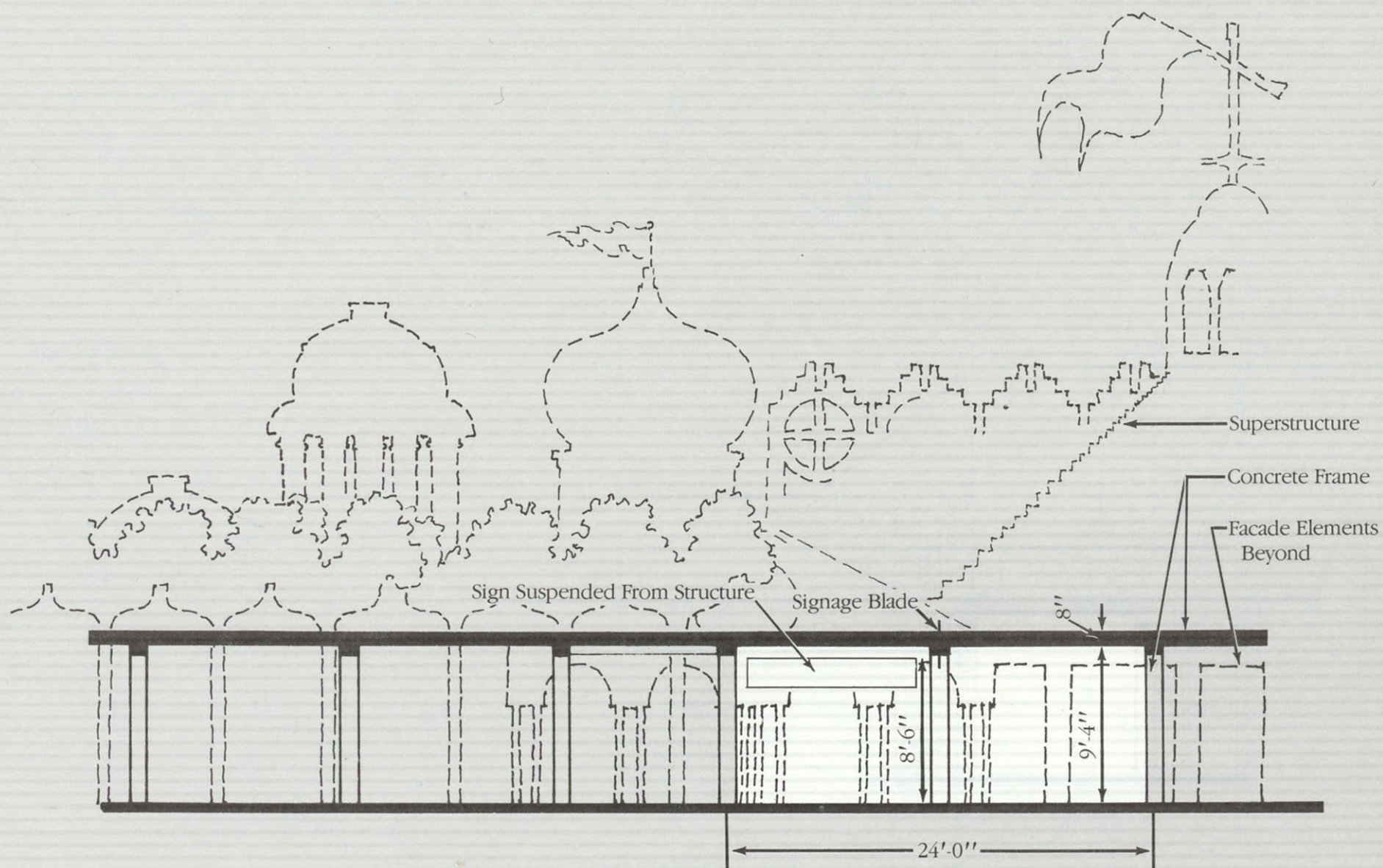
Design, furnish, and install fire protection and suppression equipment as per State Fire Marshall's requirements and according to local building authorities.





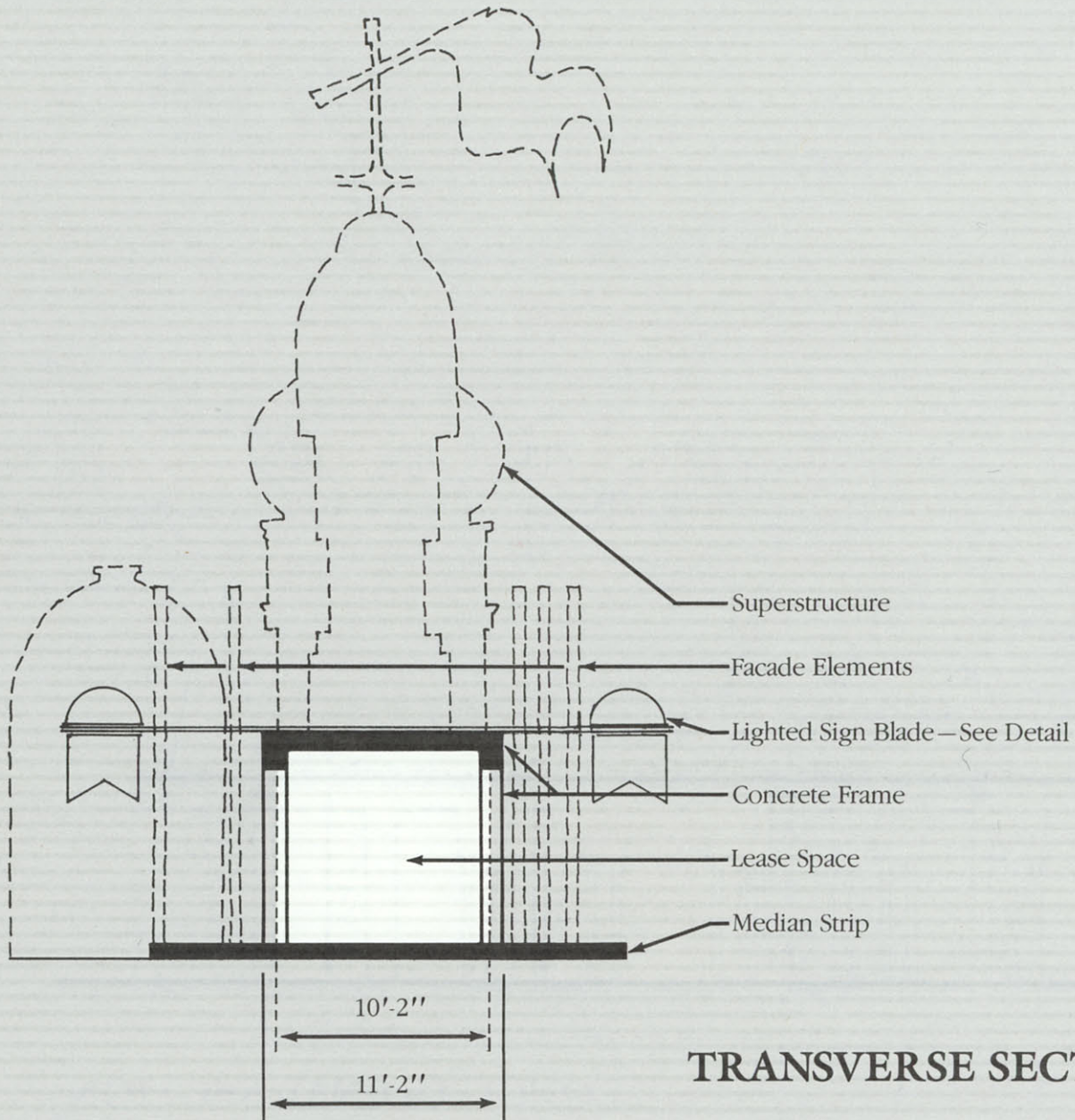
**PARTIAL FIRST LEVEL FLOOR PLAN**



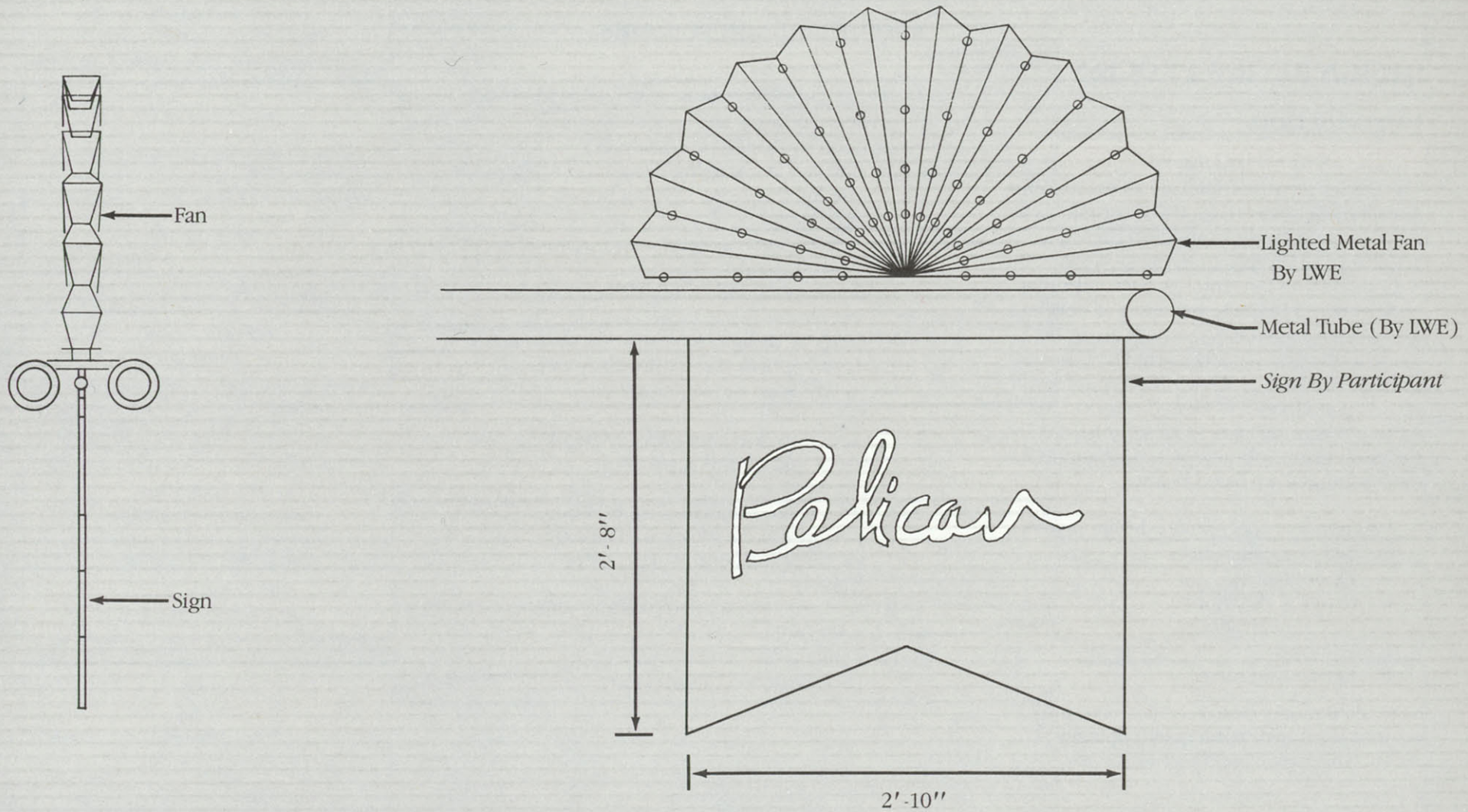


LONGITUDINAL SECTION



**TRANSVERSE SECTION**





DETAIL OF WONDERWALL SIGN BLADE



## DESIGN REVIEW PROCESS

### Introduction

The Design Review Approval Process requires that all participants make three submittals to the Design Review Committee. These are 1. Conceptual Design, 2. Design Development, 3. Construction Documents. Each submittal package should include two sets of all drawings and written material. Submittals are to be made to the Site Development Department of IWE. The Design Review Committee will review participant's work and respond in writing within two weeks of submissions by the participant. Submission requirements for each submittal are listed below:

1. Preliminary (conceptual) design review
  - A. Site or location plan
  - B. Floor plan(s)
  - C. Exterior elevations
  - D. Interior elevations
  - E. Exhibitry
  - F. External lighting

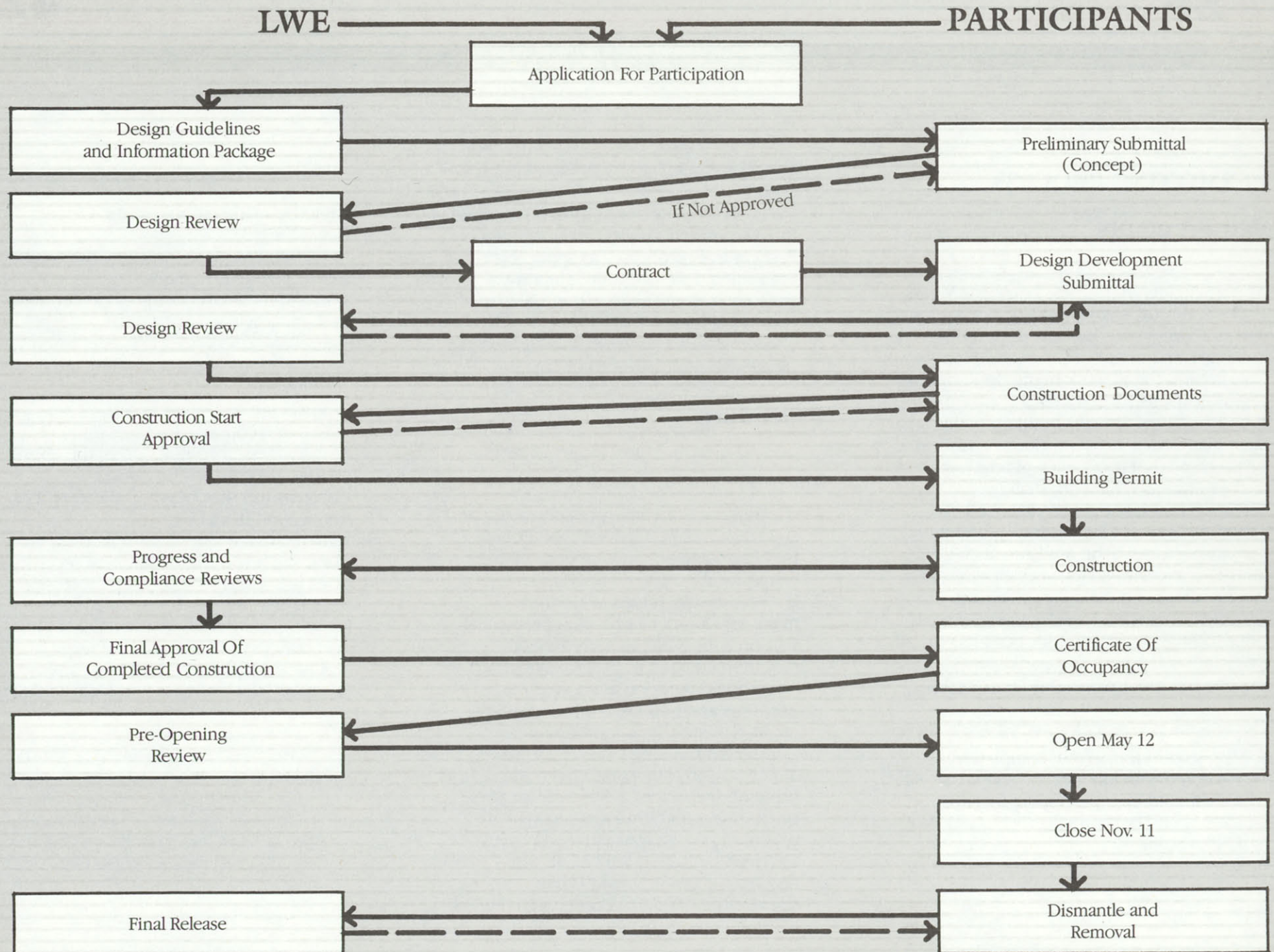
Note: Preliminary design review is required prior to signing of participant contract.

### Submittal Requirements

2. Design Development Review (detailed preliminary plans and specifications stamped by design professionals)
  - A. Site and landscaping design including site lighting (site lighting bound separately)
  - B. Architectural and engineering design
  - C. Exhibit design
  - D. Equipment and fixture design with cut sheets
  - E. Graphic design
  - F. Lighting plan and fixture cut sheets
  - G. 1/32" scale model (open site)
3. Construction document review (working drawings and permit application documents)
  - A. All required drawings for building permit. (see New Orleans Department of Safety and Permits approval process below)
  - B. Construction Schedule (coordinated with IWE)
  - C. Utility Load Tabulation Sheet (See Enclosed Information)



# DESIGN AND CONSTRUCTION PROCEDURES FLOW CHART





## PERMITTING PROCESS

### Requirements

All participants in the 1984 Louisiana World Exposition must obtain building, occupational and use/occupancy permits from the New Orleans Department of Safety and Permits. This applies for all work being done on the Exposition site. All plans shall conform to the City of New Orleans building codes, State Fire Codes, City Fire Codes and shall be prepared by a Louisiana registered architect and/or engineer. All work shall be accomplished by Louisiana licensed contractors (except for "setting up" exhibitory). City Inspectors will be available at IWE on Tuesdays and Thursdays, and appointments can be scheduled through participant coordinators in Site Development (directly prior to filing application for permits) to save time and assure that participant's documents and applications are in order.

Documents necessary for permit application:

1. Application for permit, completely executed with job location shown as "805 S. Front Street + participant location shown on Marketing Plan" (i.e. S-11, M-4, C-13, I-6, etc.)

2. Check for fee payment (as determined by City formula based on construction costs)
3. 6 sets of complete plans (must be stamped by LA registered architect and/or engineer)
4. Pest control certificate (as applicable)
5. Transmittal letter requesting approval from each appropriate department or reviewing agency.
6. Owners affidavit (as applicable) approving plans with permission to proceed

### Procedure

The proper filing procedure is as follows:

1. If a building code waiver is necessary, an appeal should be filed with the Board of Building Standards and Appeals. Allow four weeks for this appeal.
2. If a preliminary review is desired, make appointment with plan processing section at City Hall to review code requirements before plans are finalized. This should be done as soon as design drawings are available. Call 586-5013, Mr. Mark Gates, for appointment.
3. Completed building plans (2) for Safety & permits, shall be submitted to the Building Inspectors at 805 S. Front Street on Tuesdays and Thursdays along with executed permit applications. A check to cover the permit fee will also be required at this time and is based upon the amount of construction costs. Checks

are to be made payable to the City of New Orleans.

4. In addition to plans for Safety & Permits, submit plans with the noted number of sets with a transmittal copying all departments to the following:
  - Streets— 2 sets (as applicable, when foundations, slabs, and piling are required)
  - Sewerage and Water Board— 1 set
  - Fire Prevention— 1 set
5. After successful completion of the above review, a permit will be issued. Construction may begin upon receipt of notification from IWE.
6. If there are any questions regarding the plans, the respective department receiving plans will contact the licensed professional responsible for the drawings.
7. Upon building completion, a use and occupancy certificate must be requested and issued before the building can be occupied.



## Responsibilities of LWE

1. Provide open site or shell space as described in the Building Specifications Section of the Design Guidelines.
2. Provide performance specifications for the building elements (where applicable).
  - A. Floor systems
  - B. Wall systems
  - C. Roof systems
  - D. Canopy
  - E. Mechanical and electrical systems
3. Provide utility connections within 5' of participant's lease line
4. Provide graphic and theme standards
5. Provide review and written response to participant's design proposals within two weeks of submission.
6. Coordinate construction of shell space and utilities with participant's construction schedule.

## Responsibilities of Participant

1. Obtain the services of an architect or engineer, licensed to practice in the State of Louisiana, to prepare plans and specifications as required for Design Review and building permit. (see Design Review Submission Requirements).

### 2. Furnish and install the following work: (New structures by participant on the open site and Wonderwall)

- A. Architectural
  - All exterior and interior building elements
- B. All interior and exterior exhibitry
- C. Structural, mechanical, and electrical:
  - Provide air conditioning, ventilation, plumbing, and electrical systems (including meter distribution panels, and transformers) within leased space
- D. Landscaping
  - a. provide all paving and plant material within leased areas as well as forecourt area
  - b. provide any site improvements and furnishings within leased areas as well as forecourt
- E. Graphics
  - a. provide identity signage
  - b. provide flags or other pagentry elements (optional)
  - c. provide professional quality informational signage such as entry, exit, show schedules, waiting times, etc. No temporary handwritten signs will be permitted
- c. building fronts including doors and windows
- d. all exit doors
- e. sound insulation if theater or audio visual exhibit occurs at party wall
- B. All interior and exterior exhibitry
- C. Structural, mechanical, and electrical
  - a. Any modifications to shell structure must be returned to original condition by January 31, 1985
  - b. Provide air conditioning, ventilation, plumbing, and electrical systems (including meter distribution panel, and transformer), within leased space
- D. Landscaping
  - a. Provide all paving and plant material within leased areas as well as forecourt area
  - b. Provide any site improvements and furnishings within leased areas as well as forecourt

### (Renovated Buildings)

- A. Architectural
  - a. interior partitions (other than demising partitions furnished by LWE)
  - b. interior finishes except as noted on the plans



## E. Graphics

- a. Provide identity signage
- b. Provide flags or other pagentry elements (optional)
- c. Provide professional quality informational signage such as entry, exit show schedules, waiting times, etc. No temporary hand-written signs will be permitted

**(New Orleans Convention Center & Exhibit Hall)**

## A. Architectural

- a. all partitions (demising partition design and construction to be coordinated with adjacent exhibitors)
- b. interior finishes (all surfaces visible to the public to be finished)
- c. all entrance and exit doors
- d. sound insulation if theater or audio visual exhibit occurs at party wall

## B. All interior and exterior exhibitry

## C. Structural, mechanical and electrical

- a. Any modifications to shell structure must be returned to original condition by January 31, 1985.

- b. Provide air conditioning, ventilation, plumbing, and electrical systems (including meter distribution panel, and transformer) within leased space.

## D. Landscaping

- a. Provide all paving and plant material within leased areas as well as forecourt area
- b. Provide any site improvements and furnishings within leased areas as well as forecourt

## E. Graphics

- a. Provide identity signage
- b. Provide flags or other patentry elements (optional)
- c. Provide professional quality informational signage such as entry, exit, show schedules, waiting times, etc. No temporary hand-written signs will be permitted

- 3. Submit all plans and specifications to LWE for approval
- 4. Submit all documentation required by "contractual obligations" (see enclosed list) and proof of adequate insurance coverage (see specifications enclosed)
- 5. Pay all fees and obtain a building permit
- 6. Adhere to the construction schedule approved by LWE
- 7. Pay utility deposits and monthly utility charges
- 8. Maintain exhibit in a clean, neat, and orderly condition
- 9. Return leased space and building to original condition at the close of the Exposition.



**1984 LOUISIANA WORLD EXPOSITION, INC.**

President and Chief Executive Officer: Petr L. Spurney

Art Director: Robert Whitney

Design: Martha McGraw-Hamilton

Cover: Wellington Reiter

Consultant: *Frank Sparkman, Architect*

Master Architects: Perez Associates/Studio 2

DWE Architects: Patsy Feeman

Billy Barry

Administrative Assistant: Charlene Silverman



